



The Corporation of the City of Stratford  
Planning and Heritage Committee  
Open Session  
AGENDA

**Date:** January 24, 2022

**Time:** 7:15 P.M.

**Location:** Electronic Meeting

**Committee Present:** Councillor Ritsma - Chair Presiding, Councillor Ingram - Vice-Chair, Mayor Mathieson, Councillor Beatty, Councillor Bunting, Councillor Burbach, Councillor Clifford, Councillor Gaffney, Councillor Henderson, Councillor Sebben, Councillor Vassilakos

**Staff Present:** Joan Thomson - Chief Administrative Officer, Tatiana Dafoe - City Clerk, Taylor Crinklaw - Director of Infrastructure and Development Services, David St. Louis - Director of Community Services, Karmen Krueger - Acting Director of Corporate Services, John Paradis - Fire Chief, Kim McElroy - Director of Social Services, Anne Kircos - Acting Director of Human Resources, Alyssa Bridge - Manager of Planning, Chris Bantock - Deputy Clerk

To watch the Council meeting live, please click the following link: <https://stratford-ca.zoom.us/j/83703112769?pwd=M0VzaFA4Sm5HcGNwdWVmdloxVVpvQT09>

A video recording of the meeting will also be available through a link on the City's website at <https://www.stratford.ca/en/index.aspx> following the meeting.

Pages

**1. Call to Order**

The Chair to call the Meeting to Order.

**2. Disclosure of Pecuniary Interest and the General Nature Thereof**

The *Municipal Conflict of Interest Act* requires any member of Council declaring a pecuniary interest and the general nature thereof, where the interest of a member of Council has not been disclosed by reason of the member's absence

from the meeting, to disclose the interest at the first open meeting attended by the member of Council and otherwise comply with the *Act*.

Name, Item and General Nature of Pecuniary Interest

**3. Delegations**

None scheduled.

**4. Report of the Manager of Planning**

**4.1. Planning Report – Modification to Draft Approved Plan of Subdivision 31T18-003, 4178 Perth Line 36 (PLA22-001)**

7 - 14

Motion by \_\_\_\_\_

**Staff Recommendation:** THAT the draft conditions of approval of plan of subdivision 31T18-003 be modified as follows:

**Revise Condition #1 to read:**

This draft approval applies to the draft plan submitted by Zelinka Priamo Ltd., prepared by MTE, certified by Trevor McNeil O.L.S., Drawing No. DP1 dated Nov. 21/2019, as red line amended, which shows a total of 99 single detached residential lots, 1 multiple unit development block, 1 park block, 1 access block, 2 stormwater management blocks, 3 open space blocks, 2 road widenings blocks and 6-0.3m reserve blocks all served by 2 new local streets.

**Revise Condition #15 to read:**

The Owner shall dedicate all 0.3 m reserve block (Blocks 108 to 113, both inclusive) to the City of Stratford free of encumbrances, to the satisfaction of the City.

**PARKLAND**

**Revise Condition #22 to read:**

The Owner shall dedicate Block 106 to the City of Stratford for Park purposes and pay the City cash-in-lieu for 0.731 ha of parkland pursuant to the provisions of Section 51.1 of the Planning Act. The dedication of Block 106 and cash-in-lieu for 0.731 ha shall satisfy the parkland dedication requirements for all lands within the boundary of this draft plan and within the boundary of draft approval 31T-12001A. All costs associated shall be borne by the Owner.

**Revise Condition #23 to read:**

In conjunction with the submission of engineering drawings, the Owner

shall submit park design and grading and servicing plans, for review and approval by the Director of Infrastructure and Development Services, which accommodate an east-west pathway on Blocks 103 and 105 to the satisfaction of the Director of Community Services and the Director of Infrastructure and Development Services.

Revise Condition #24 to read:

The Owner shall grade, service and seed Block 106 within one year of final approval of the appropriate phase, to the satisfaction of the Director of Community Services and the Director of Infrastructure and Development Services.

#### Trails/Bikeways/Pedestrian Easements

Revise Condition #27 to read:

Prior to final approval, the Owner shall dedicate a blanket easement for public access through Blocks 103, 104, 105 & 107 in favour of the City to the satisfaction of the Manager Development Services.

#### STORMWATER SERVICING:

Revise Condition #33 to read:

Concurrent with final approval of the plan, the Owner shall provide all required and adequate land dedications related to the stormwater works, including Blocks 101 & 102, satisfactory to the City.

#### TRANSPORTATION:

Revise Condition #50i)b) to read:

The Owner shall construct a 1.5 metres (5') sidewalk on the following streets to the satisfaction of the City Engineer within a time-frame as directed by the City Engineer:

b) Street 'B' - abutting the exterior side yard of lot 60 and the frontage of lots 59 to 75 including Blocks 100, 102 and 106.

#### Connecting Roads/Terminations

Revise Condition #54 to read:

The Owner shall convey road widening Blocks 114 and 115 to the City of Stratford free of encumbrances and at no cost to the City to the satisfaction of the City.

Delete condition #55

## Conservation Regulation Area And FLOODPLAIN

Revise Condition #60 to read:

The regrading and channelization of Blocks 103, 104 and 105 is to be completed all at once generally in keeping with the Master Drainage Plan prepared by McCormick Rankin Corporation and approved report, 2007 to the satisfaction of the Director of Infrastructure and Development Services and Upper Thames River Conservation Authority. No works shall be completed in contravention of the Drainage Act.

Revise Condition #61 to read:

Channelization and regrading within Blocks 103, 104 and 105 is to occur prior to any excavation or regrading within the existing flood plain limits to ensure flood storage is maintained. The Owner agrees to provide certification the channelization and regrading noted above has been completed in accordance with the approved plans to the satisfaction of the Director of Infrastructure and Development Services and Upper Thames River Conservation Authority.

### 4.2. Planning Report, Official Plan Amendment OPA01-21 and Zoning By-law Amendment Z01-21 for 4117 Perth Line 36 (PLA22-002)

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Following presentation of the staff report, the following have requested to address Committee with respect to this matter:

- Caroline Baker, agent for the applicant, and Kevin Fergin, Vice President of Development.

Motion by \_\_\_\_\_

THAT Caroline Baker and Kevin Fergin be heard regarding Official Plan Amendment OPA01-21 and Zoning By-law Amendment Z01-21 for 4117 Perth Line 36.

Motion by \_\_\_\_\_

Staff Recommendation:

#### Official Plan Amendment:

THAT the application OP01-21 to amend the Official Plan designation on the subject lands by amending Schedule "A" to a 'Medium Density Residential Area-Special' designation to permit a range of residential uses at a density of 16-100 units per net hectare; permit a maximum height of 6 storeys for apartment dwellings and 4 storeys for other residential uses; to designate a portion of the lands 'Parks and Open Space'; and to alter the 'Regulatory Flood Hazard' limit and to amend Schedule "B" by

altering the 'Regulatory Flood Hazard' limit, and UTRCA Regulation limit  
BE APPROVED.

Zoning By-law Amendment:

THAT the application Z01-21 to amend the zoning on the subject lands from Agriculture in the Township of Perth East Zoning By-law 30-1999 to:

- Residential Fourth Density R4(2)-XX(H1) and a Residential Fourth Density R4(2)-XX(H1)(H2) zone that permits cluster townhouse dwellings, single detached, semi-detached, townhouses, triplex dwellings, back-to-back townhouses, and stacked townhouses and apartment dwelling units with two sets of site specific regulations (one for apartment dwellings and the other for all other permitted uses), height, minimum and maximum density, parking, setbacks from public roads, lot coverage, landscaped open space, and setbacks,
- Park (P) zone that permits auditorium, cemetery, golf course, park, private club, private club, public use, recreational park and a theatre,
- Park- Floodplain (P-FP) zone that permits auditorium, cemetery, golf course, park, private club, private club, public use, recreational park and a theatre. These lands are below the regulatory flood line and subject to the requirements of the Upper Thames River Conservation Authority with respect to the erection of buildings and structures,

Be APPROVED.

Approval of the Official Plan Amendment and Zoning By-law Amendment is recommended because:

- public interest was considered;
- the request is consistent with the Provincial Policy Statement;
- the request is consistent with the goals and objectives of the Official Plan;
- the recommended zone change will facilitate development that is appropriate for the lands, will not impact surrounding lands and is considered to be sound land use planning;
- it will provide a wide range of housing to meet the needs of the existing and future residents and
- the recommended zone change will encourage efficient use of land and planned infrastructure.

## 5. Adjournment

Meeting Start Time:

Meeting End Time:

Motion by \_\_\_\_\_

**Committee Decision: THAT the Planning and Heritage Committee meeting adjourn.**



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## MANAGEMENT REPORT

**Date:** January 24, 2022  
**To:** Planning and Heritage Committee  
**From:** Alyssa Bridge, Manager of Planning  
**Report#:** PLA22-001  
**Attachments:** None

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**Title:** Planning Report – Modification to Draft Approved Plan of Subdivision 31T18-003, 4178 Perth Line 36

**Objective:** The purpose of this report is to evaluate and recommend modifications to draft approval of plan of subdivision 31T18-003 for the property at 4178 Perth Line 36.





**Background:** Plan of Subdivision, 31T18-003 was granted draft approval by City Council on February 10, 2020. Through the draft approved plan, a vehicular connection was provided to the lands to the east of the subject property. The adjacent developer is now advancing Official Plan Amendment and Zoning By-law Amendment applications. Through these applications and the conceptual site design prepared for a future plan of condominium application on the adjacent lands, it has been determined that the connecting street is no longer required. As a result, the developer of the subject lands is now proposing to remove the connecting Street 'D' from the plan of subdivision and convert the land to an additional residential building lot.

The requested red-line changes include:

- Replacing Street 'D' with a new single detached lot;
- A reduction in the lot frontage of the adjacent Lot 60 from 20 metres to 14.65 metres;
- The connection of Street 'B' to Perth Line 36 at the easterly loop to provide a second access for vehicles;
- The removal of the 0.3 metre reserves for Street 'D',
- The provision of daylight triangles on both sides of the street connection to Line 36; and
- The renumbering lots and blocks.

**Analysis:** A number of modifications to draft approved plan of subdivision 31T18-003 have been requested as result of changes to the proposed form of development for the adjacent lands to the east. The applicant is intending to close Street 'D' that was intended to provide for a vehicular connection to the future subdivision along the eastern property boundary. A vehicular connection is no longer required to the adjacent subdivision. The closure of Street 'D' will allow for the development of one additional building lot and will result in a reduction in the lot frontage of the adjacent lot.

The numbering of lots 59 to 98 will increase by one number to accommodate the additional building lot. The lots are to be re-numbered 59 to 99.

Lot 60 will now have a lot frontage of 14.85m, the 0.3m reserve blocks 112, and 114 are no longer required and have been removed from the draft plan and the blocks on the plan have been renumbered accordingly.

### Provincial Policy Statement

The plan of subdivision allows for the development of a mix of residential uses that include single detached dwellings and a medium density block. The proposal is considered to implement a cost effect development pattern that includes park and open space areas which meet the long term needs of the residents. The subject lands are located within the City of Stratford boundaries which are classified as a settlement area and the development will utilize services that have been planned for the residential

subdivision. The proposed modifications to the draft plan of subdivision is consistent with the Provincial Policy Statement, 2020.

#### City of Stratford Official Plan

The Residential Area policies allow for a range of dwelling types from single detached and semi-detached dwellings to townhouses and low-rise apartment buildings. The plan of subdivision provides efficient growth on lands that have been designated for Residential development with a mix of single detached dwellings and a medium density residential block that is located adjacent to a collector road. The modifications continue to provide for a Medium Density Residential Block and single detached lots that meet the density targets in the low and medium density residential designations.

The proposed modification to the draft approved plan of subdivision conforms with the policies of the Official Plan and represents good planning for the subject lands.

#### City of Stratford Zoning By-law

The reduced frontage for Lot 60 complies with the Residential First Density R1(5) Zone, the new proposed lot will meet the Zoning By-Law requirements and the proposed modifications meet the intent of the Zoning By-Law.

### **Financial Implications:**

#### **Financial impact on future year operating budget:**

No municipal expenses are anticipated to support the development. Development Charges will be calculated for the additional dwelling unit that are to be constructed and property tax revenues are expected on future dwellings.

### **Alignment with Strategic Priorities:**

#### **Developing our Resources**

Optimizing Stratford's physical assets and digital resources. Planning a sustainable future for Stratford's resources and environment.

### **Alignment with One Planet Principles:**

#### **Health and Happiness**

Encouraging active, social, meaningful lives to promote good health and wellbeing.

#### **Equity and Local Economy**

Creating safe, equitable places to live and work which support local prosperity and international fair trade.

#### **Culture and Community**

Nurturing local identity and heritage, empowering communities and promoting a culture of sustainable living.

## **Land and Nature**

Protecting and restoring land for the benefit of people and wildlife.

## **Sustainable Water**

Using water efficiently, protecting local water resources and reducing flooding and drought.

## **Travel and Transport**

Reducing the need to travel, encouraging walking, cycling and low carbon transport.

**Staff Recommendation: THAT the draft conditions of approval of plan of subdivision 31T18-003 be modified as follows:**

**Revise Condition #1 to read:**

**This draft approval applies to the draft plan submitted by Zelinka Priamo Ltd., prepared by MTE, certified by Trevor McNeil O.L.S., Drawing No. DP1 dated Nov. 21/2019, as red line amended, which shows a total of 99 single detached residential lots, 1 multiple unit development block, 1 park block, 1 access block, 2 stormwater management blocks, 3 open space blocks, 2 road widenings blocks and 6-0.3m reserve blocks all served by 2 new local streets.**

**Revise Condition #15 to read:**

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## **PARKLAND**

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**Revise Condition #24 to read:**

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#### **Trails/Bikeways/Pedestrian Easements**

**Revise Condition #27 to read:**

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#### **STORMWATER SERVICING:**

**Revise Condition #33 to read:**

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#### **TRANSPORTATION:**

**Revise Condition #50i)b) to read:**

**The Owner shall construct a 1.5 metres (5') sidewalk on the following streets to the satisfaction of the City Engineer within a time-frame as directed by the City Engineer:**

**b) Street 'B' - abutting the exterior side yard of lot 60 and the frontage of lots 59 to 75 including Blocks 100, 102 and 106.**

#### **Connecting Roads/Terminations**

**Revise Condition #54 to read:**

**The Owner shall convey road widening Blocks 114 and 115 to the City of Stratford free of encumbrances and at no cost to the City to the satisfaction of the City.**

**Delete condition #55**

#### **Conservation Regulation Area And FLOODPLAIN**

**Revise Condition #60 to read:**

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**ensure flood storage is maintained. The Owner agrees to provide certification the channelization and regrading noted above has been completed in accordance with the approved plans to the satisfaction of the Director of Infrastructure and Development Services and Upper Thames River Conservation Authority.**

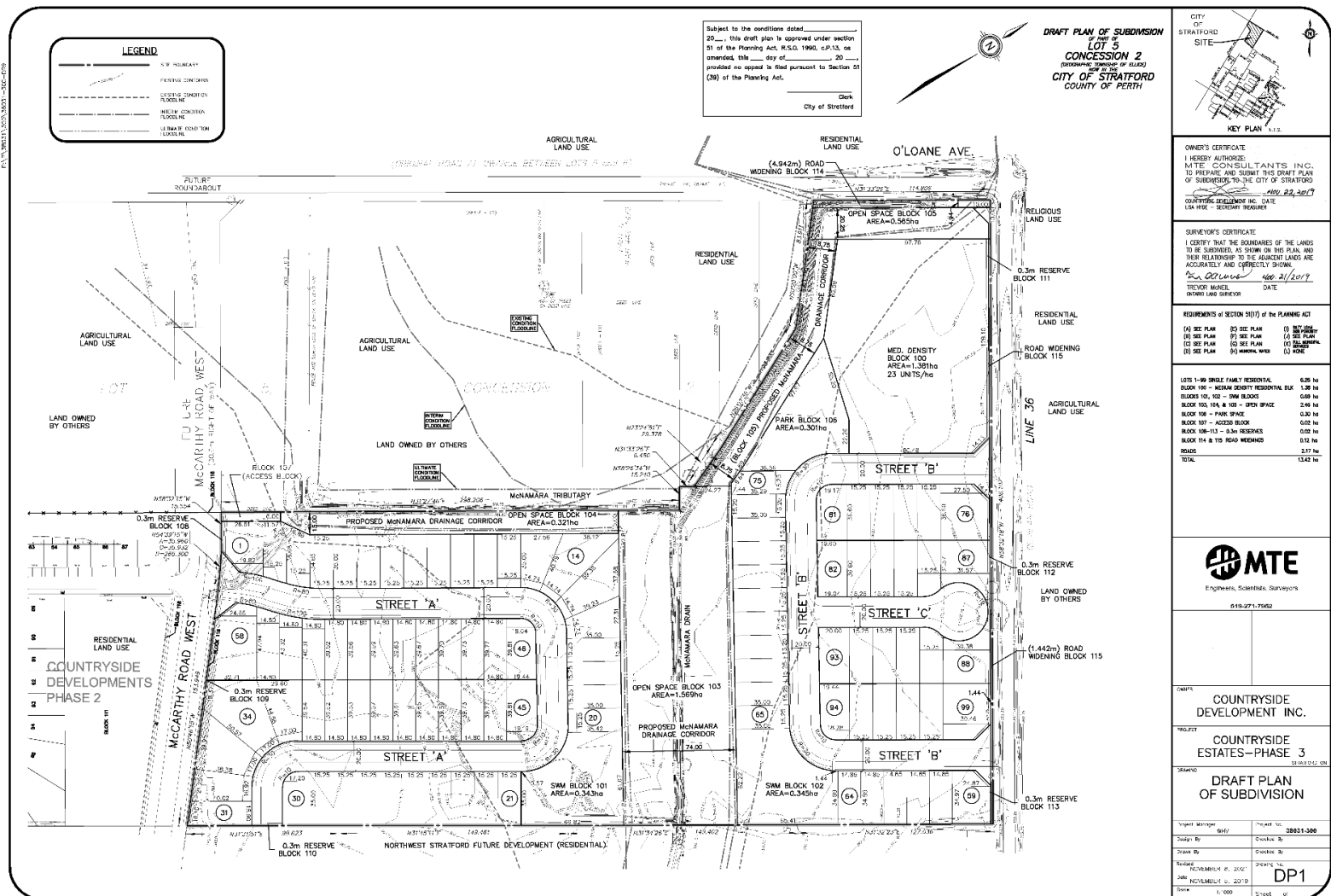
**Prepared by:**

Jeff Bannon, MCIP, RPP – Planner

**Recommended by:**

Taylor Crinklaw, Director of Infrastructure & Development Services

Joan Thomson, Chief Administrative Officer





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## MANAGEMENT REPORT

**Date:** January 24, 2022  
**To:** Planning and Heritage Committee  
**From:** Alyssa Bridge, Manager of Planning  
**Report#:** PLA22-002  
**Attachments:** None

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**Title:** Planning Report, Official Plan Amendment OPA01-21 and Zoning By-law Amendment Z01-21 for 4117 Perth Line 36

**Objective:** The purpose of this report is to provide staff's evaluation and recommendation on Official Plan Amendment application OPA01-21 and Zoning By-law Amendment application Z01-21 for 4117 Perth Line 36.

**Background:** In January 2021, applications were deemed complete for an Official Plan Amendment (OPA01-21) a Zoning By-law Amendment (Z01-21) and a Draft Plan of Subdivision (31T21-001) for the lands located at 4117 Perth Line 36. Subsequent to the Statutory Public Meeting, held in February 2021, the applicant (Northwest Stratford Developments Inc.) entered into an agreement of purchase and sale with Reid's Heritage Homes for the lands subject to these applications located north of the McNamara Drain. Reid's Heritage Homes is now proceeding with revised Official Plan Amendment and Zoning By-law Amendment applications for these lands. The draft plan of subdivision application is currently being held in abeyance as it is anticipated that the development of the lands will proceed by way of a future Draft Plan of Condominium application. It is anticipated that applications for the balance of the lands south of the McNamara drain will proceed separately at a later date.

# Location and Zoning Map for the Subject Lands (4117 Perth Line 36)





The subject lands are located to the south of Perth Line 36 and north of the McNamara Drain. The area is legally described as Part Lots 3 & 4, Concession 2, (Geographic Township of Ellice) in the City of Stratford. They have an approximate area of 14.78 hectares and approximately 812 metres of frontage on Perth Line 36.

Photo of Subject Lands from Perth Line 36:



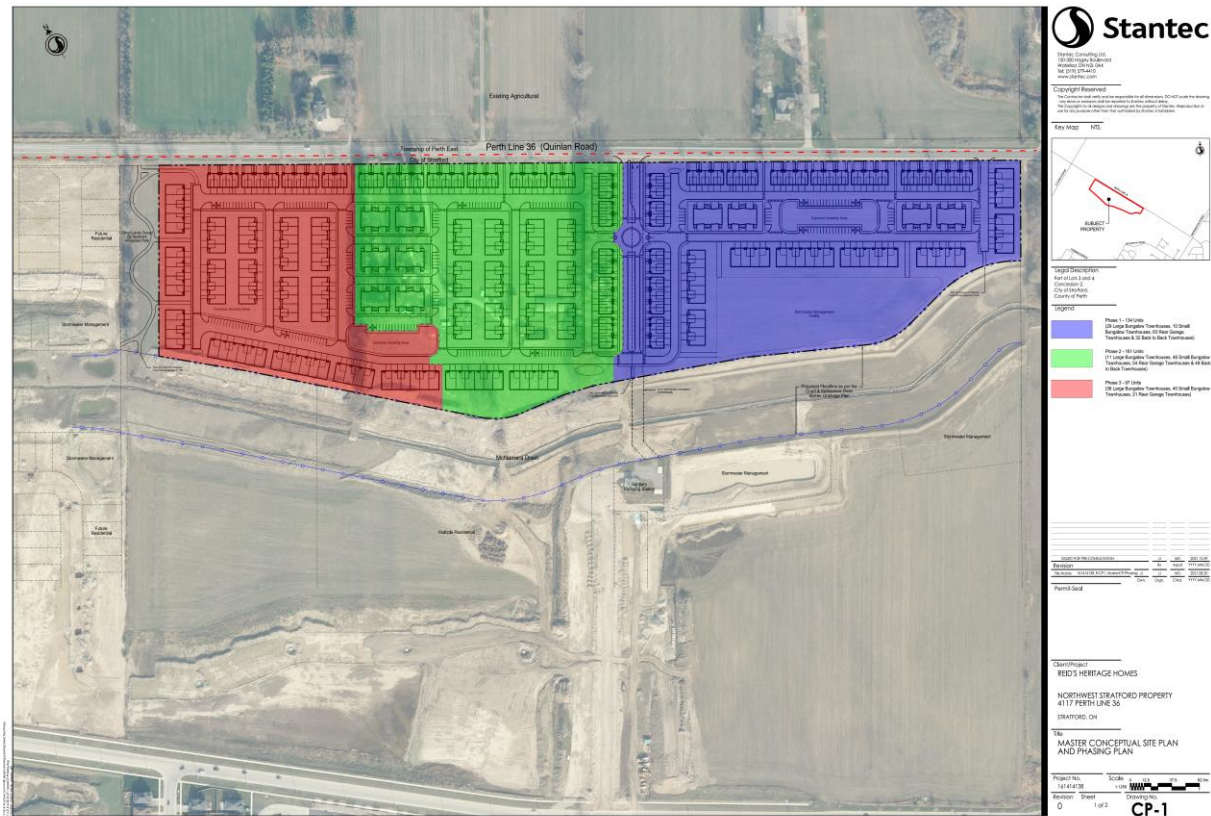
Site Characteristics:

| Characteristic | Information   |
|----------------|---|
| Existing Use:  | Agricultural farmland, two single detached dwellings with accessory buildings and a municipal drain |
| Frontage:      | 812m  |
| Depth          | 222.24m   |
| Area           | 14.78ha   |
| Shape          | Irregular   |

### Surrounding Land Uses:

| Direction | Use  |
|-----------|--|
| North     | Farmland/Agricultural  |
| East      | Farmland/Future Residential  |
| West      | Farmland/Residential   |
| South     | Single detached, multiple residential dwellings and future residential |

### Conceptual Site Plan (subject to future Site Plan and Draft Plan of Condominium applications):



### Applications:

#### Official Plan Amendment

The proposed Official Plan amendment is to re-designate the subject lands from 'Residential Area' and 'Medium Density Residential' to 'Medium Density Residential Area – Special' to allow for additional residential uses including single detached, semi-detached, townhouse, apartment, triplex, stacked townhouse dwellings and back-to-back townhouse dwelling units with a minimum density of 16 units per hectare and a maximum density of 100 units per hectare. The amendment also proposes a maximum height of 6 storeys for apartment dwellings and 4 storeys for all other residential uses.

The amendment also proposes to alter the 'Regulatory Flood Hazard' and the 'Parks and Open Space' boundaries.

#### Zoning By-law Amendment

The Zoning By-law amendment requests to rezone the lands from Agricultural (A) to a Residential Fourth Density R4(2)- Special zone, Park (P) zone and Floodplain (FP) zone. The R4(2) zone will permit cluster housing in the form of single detached, semi-detached, triplex, townhouse dwellings, back-to-back townhouse dwellings, stacked townhouse dwellings and apartment dwellings. Site specific regulations have been requested related to lot coverage, density, landscaped open space and setbacks.

Two holding provisions are also requested. The first is proposed to be applied to the entirety of the Residential R4(2) zone to allow a maximum of 392 dwelling units until additional servicing is provided. A portion of the subject lands are located within the existing floodplain. Works are currently underway, in consultation with the City of Stratford and the Upper Thames River Conservation Authority to alter the floodplain to allow for the development of these lands. As a result, a second holding provision has been requested to apply to lands within the existing floodplain to prevent any buildings or structures on these lands until the works to the McNamara Drain and floodplain have been completed and accepted by the City.

#### Agency Comments:

Circulation of the application to various agencies produced the following comments to date (February 10, 2021):

- Hydro One: No concerns
- Festival Hydro: The lands subject to these applications are not currently within Festival Hydro's service territory and the developer should reach out to Festival Hydro to discuss options for going through a service area amendment process with Hydro One.
- Canada Post: Mail delivery service to the development will be provided through centralized Community Mailboxes. If apartments are to be constructed, delivery service will be provided through centralized Lock Box Assembly.
- Bell Canada: The owner will be required to convey any easements as deemed necessary by Bell Canada to service the new development.
- Building Division: No concerns with the Official Plan Amendment or Zoning By-law Amendment.
- Engineering Division:
  - Official Plan Amendment/Zone Change -the necessary provisions to create the changes proposed to the Regulatory Flood Hazard Line on Schedule "A" and the Flood and Erosion Hazard Line and UTRCA Regulation Limit on Schedule "B" have been included as part of the works for the Coventry Phase 4 subdivision, and as such Engineering does not object to the Official Plan Amendment application

- General Vegetation Overview and Impact Assessment, GSP Group, Feb.7, 2020 -the report notes that all 533 trees within the subject lands are proposed to be removed without any supporting documentation other than 'grading/road construction'. There is no evaluation of any attempt to preserve the trees or commitment for compensation for the removal. An updated report is still outstanding. For the lands north of the drain proceeding through the subject applications, the requirement for tree preservation and an updated report can be part of the condominium and/or site plan application.
- Environmental Noise Assessment, MTE Consultants Inc., November 4, 2020. The comments in section 4.2.3 do not seem to match the proposed draft plan. The conceptual development plans for the blocks should be provided to reference the comments made in section 4.2.3. In addition, the requirement for a noise attenuation barrier along Line 36 has not been established or ruled out with this report, and a further report will be necessary once more details are known. An updated report specific to the Reid's proposal will be required as part of the condominium/site plan submission
- West Residential Subdivision TIS, PTSL, August 2020 - the report must be updated to include pedestrian and cycling impacts and accommodations. The data is modelled with a concept that does not match the proposed draft plan including the number of connections to Line 36 and must be updated. The results of the modelling indicate that prior to the installation of traffic control signals at the Line 36 / Mornington intersection, the traffic operations will be experiencing a level of service of F. The report must provide suggestions for mitigating this negative outcome. An updated report specific to the Reid's proposal will be required as part of the condominium/site plan submission
- Preliminary Stormwater Management Report, MTE Consultants Inc., October 23, 2018 = Criteria – revise to achieve an Enhanced level of quality control. In addition, provide conceptual grading/servicing drawings in order to support the conceptual pond design and modelling. Also, indicate where storm sewer easements will be required in order to direct public road allowance drainage to the appropriate stormwater management facility. The study is to include water balance information, proposals, and calculations in the report. Un updated report specific to the Reid's proposal will be required as part of the condominium/site plan submission
- Sanitary and Water Servicing letter, MTE Consultants Inc., November 18, 2020 -the watermain on Street C (Orr Street) must be connected to McCarthy Road W through Fraser Drive AND either extend to Bradshaw Drive or loop temporarily to McCarthy Road W at the east limit of the plan. The lands north of the McNamara Drain must connect to the watermain on Bradshaw Drive south of the drain, and to the watermain on Line 36. The

developer must construct a watermain across the entire frontage of the lands on Line 36 and as far east as required to connect to an existing watermain. The requirement above remains in place, but it is understood that an alternative method of connection will be allowed in conjunction with the development to the west. Appropriate timing of construction and easements will be required and will be subject to approval by the City.

#### Public Comments

Notice of the application was sent to 71 surrounding property owners on January 27, 2021. Notice was also published in the Beacon Herald on January 30, 2021. The Statutory Public Meeting was held on February 23, 2021. One public comment has been received regarding the existing trees on the subject lands. Through the future Site Plan and Draft Plan of Condominium applications, the applicant will be required to submit an updated Vegetation Management Plan outlining any trees proposed to remain and those to be removed.

#### **Analysis:**

##### Provincial Policy Statement

The Provincial Policy Statement (PPS), 2020 came into effect on May 1, 2020. The PPS is issued under Section 3 of the Planning Act and provides direction on matters of Provincial interest related to land use planning and development. The Planning Act requires that all decisions affecting planning matters shall be consistent with the PPS.

Section 1.1.1 of the PPS states that:

“1.1.1 Healthy, liveable and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
- b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;
- c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;
- d) avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;

- e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;
- f) improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;
- g) ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs;
- h) promoting development and land use patterns that conserve biodiversity; and
- i) preparing for the regional and local impacts of a changing climate.”

The proposed Official Plan Amendment and Zone Change amendment are consistent with Section 1.1.1 of the PPS by:

- Promoting efficient development patterns through the development of a vacant site identified for development through the Stratford West Secondary Plan that provides for the efficient use of land in line with the density targets of the Official Plan and the secondary plan that utilizes existing and planned municipal services; and
- Providing for the development of 392 residential units including single detached, semi detached, back-to-back townhouses, triplex, stacked townhouses and apartments, that contributes to provision of a range and mix of housing types within the City of Stratford.

Section 1.1.3 of the PPS sets out a policy framework with respect to Settlement Areas. Policy 1.1.3.1 directs that Settlement Areas shall be the focus of growth and development. Policy 1.1.3.2 of the PPS further specifies that:

“1.1.3.2 Land use patterns within settlement areas shall be based on densities and a mix of land uses which:

- a) efficiently use land and resources;
- b) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;
- c) minimize negative impacts to air quality and climate change, and promote energy efficiency;
- d) prepare for the impacts of a changing climate;

- e) support active transportation;
- f) are transit-supportive, where transit is planned, exists or may be developed; and
- g) are freight-supportive”.

The subject lands are located within the settlement area as identified in the City of Stratford Official and lands located within the settlement area are intended through the City’s Official Plan and the Stratford West Secondary Plan to be the focus of growth and development in the City. The proposed development will utilize existing and planned municipal infrastructure.

Section 1.7 of the PPS sets out a framework to support long term economic prosperity. The proposed development is consistent with this framework through the provision additional housing supply in the City that is in a form that supports the provision of a range of housing options for a diverse workforce. In addition, through optimizing the use of land and infrastructure through the development of a vacant site with existing and planned municipal services that have capacity to accommodate the proposed development the subject applications are consistent with Section 1.7 of the PPS.

Section 2.6 of the PPS sets out a policy framework with respect to Cultural Heritage and Archaeology. To address archaeology, the applicant has undertaken an Archaeological Assessment of the subject lands. The Archaeological Assessment was entered into Ontario Public Register of Archaeological Reports on February 28, 2019.

Section 3.1 of the PPS outlines policies related to Protecting Public Health and Safety. Specifically with respect to Natural Hazards, Section 3.1.2 states that development and site alteration shall not be permitted within a floodway. In consultation with the City of Stratford and the Upper Thames River Conservation Authority, work is currently underway within the McNamara Drain and when completed, the proposed residential development will be outside of the flood hazard limit and will be consistent with the projecting public health and safety policies. Until such time as the works have been completed to the satisfaction of the City of Stratford and the Upper Thames River Conservation Authority, a holding provision is recommended through the proposed Zoning By-law Amendment to restrict structures within the flood hazard area.

The subject applications are consistent with the PPS, 2020.

#### City of Stratford Official Plan

The City of Stratford Official Plan (OP) was adopted by Council on January 25, 1993 and was comprehensively updated through Official Plan Amendment No. 21 in 2016. The OP establishes the goals, objectives and policies to manage and direct growth in the City of Stratford to the year 2033.

The subject property is currently designated Medium Density Residential, Residential Area and Parks and Open Space in the OP. A portion of the subject lands are also identified as being within the Regulatory Flood Hazard.

The Residential Area policies allow for a range of dwelling types from single detached and semi-detached dwellings to townhouses and low-rise apartment buildings. Some secondary uses are also allowed in the Residential Area designation including convenience commercial uses, home occupations and public uses. The density range for lands designated 'Residential Area' is between 12 and 65 units per net hectare.

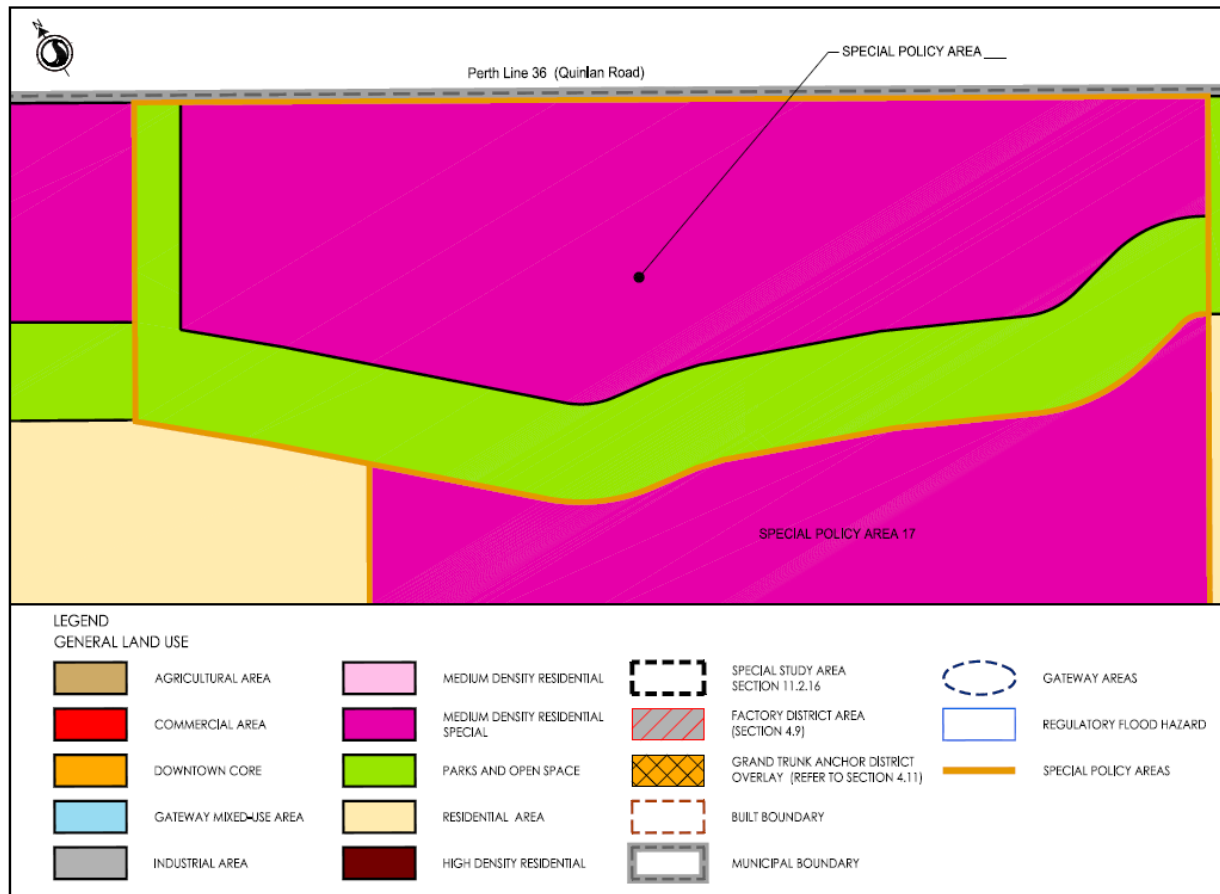
The permitted uses on lands designated 'Medium Density Residential Area' are townhouses, quadraplexes and apartment type residential uses with a minimum and maximum residential density of between 30 and 100 units per hectare.

A portion of the lands are comprised as Flooding and Erosion Hazards within the Upper Thames River Conservation Area regulation limit. The proposed amendment is intended to update and relocate the Regulatory Flood Limit to align with the proposed works to the McNamara drain that have been designed in accordance with the Court and McNamara Drain Master Drainage Plan.

The Official Plan Amendment application has requested to re-designate the subject lands to Medium Density Residential Area – Special and Park and Open Space to allow for additional residential uses including single detached, semi-detached, townhouse, apartment and back-to-back townhouse dwelling units with a minimum density of 16 units per hectare and a maximum density of 100 units per hectare. The amendment also proposes a maximum height of 6 storeys for apartment dwellings and 4 storeys for all other residential uses.



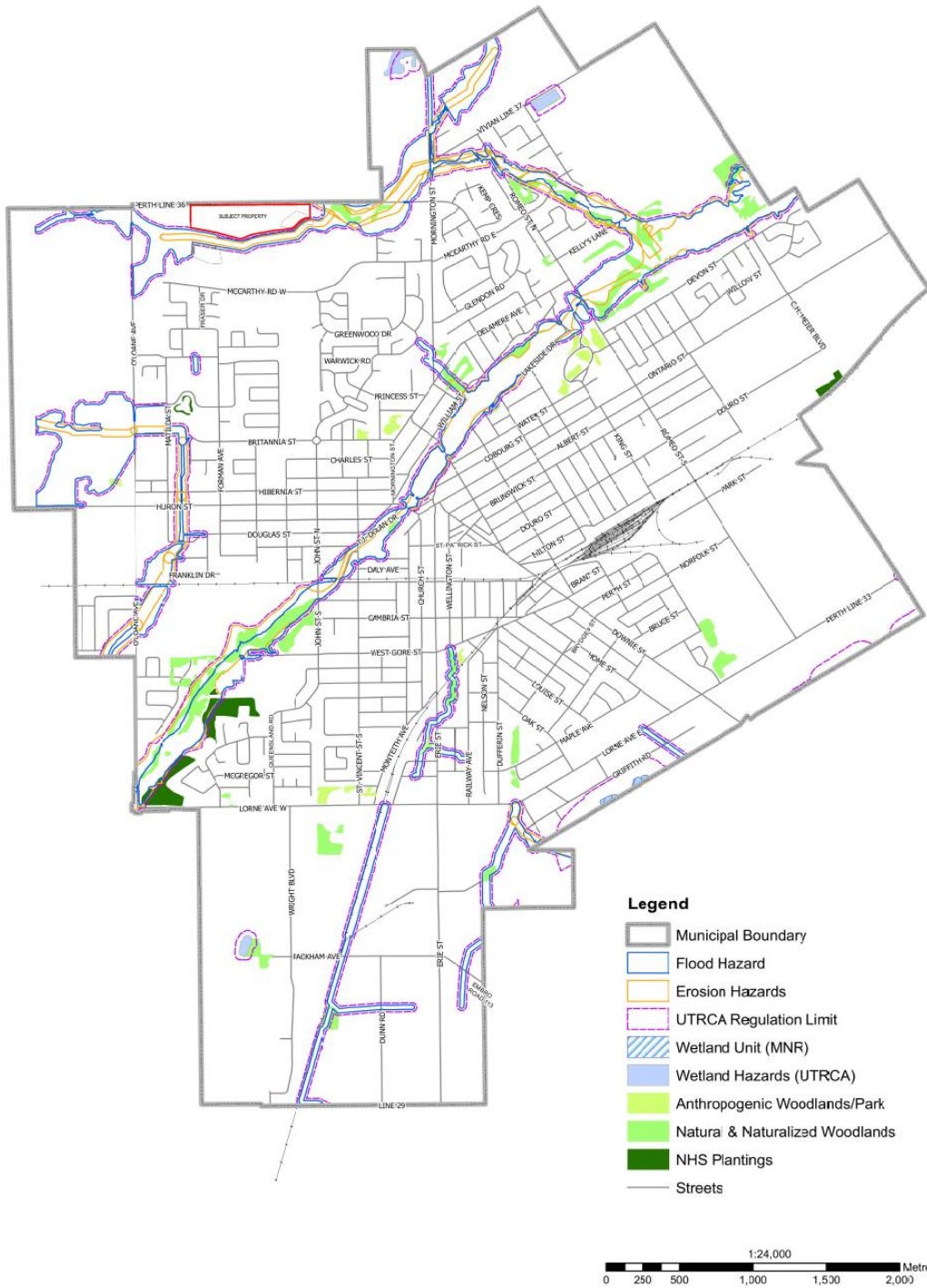
## Proposed Official Plan Amendment Schedule A



The amendment also proposes to alter the 'Regulatory Flood Hazard' and the 'Parks and Open Space' boundaries.

# Proposed Official Plan Amendment Schedule B

**CITY OF STRATFORD OFFICIAL PLAN**  
**SCHEDULE B**  
**NATURAL HERITAGE AND NATURAL HAZARDS**  
**APPROVED JULY 21, 2016**  
**CONSOLIDATED MAY 1, 2019**



### Residential Areas

The OP contains a series of Goals and Objectives for land located within the Residential Area designation. These are contained in Section 4.5.1 of the OP and are as follows:

- i. "To maintain in all residential areas the essential neighbourhood qualities of quiet enjoyment, privacy, upkeep, public health and safety and basic municipal services.
- ii. To ensure that where intensification of development is proposed in residential areas, it is compatible in terms of scale, density and design with neighbouring development and adheres to sound planning principles related to servicing, traffic, site design and amenities, provided there is sufficient capacity in the City's municipal services to accommodate that development.
- iii. To achieve a mix of housing types and a minimum average density of housing in the development of new residential areas in order to provide diversity in the housing stock, more *affordable* housing opportunities and a more efficient investment and ongoing maintenance of municipal services and facilities."

The Official Plan Amendment and Zoning By-law amendment will provide for the future of development of the subject land in a manner that contributes to the achievement of a broad mix of housing types, which will provide diversity in the City's housing stock. In addition, the subject applications will provide for development that will meet the minimum and maximum density requirements of the Official Plan providing for a more compact development and efficient investment and ongoing maintenance of municipal services and facilities.

The subject lands are considered new residential lands. Section 4.5.3.2 of the Official Plan sets out a policy framework to guide the development of new residential areas. Specifically, Section 4.5.3.2 states that:

"In new residential areas, applications for development shall be evaluated against their conformity with all other applicable policies of the Official Plan and the following criteria:

- i) mix of development forms and densities;
- ii) medium density residential uses are encouraged and shall be:
  - a) intermixed with low density development in smaller groups;
  - b) primarily street oriented in design; and

- c) located ***adjacent*** to collector and arterial roads, park and greenland areas, community facilities and commercial areas and/or as a physical transition between high and low density residential development.
- iii) the road pattern is modified, rectilinear grid pattern which provides for the maximum possible degree of connectivity internally, and externally with the existing developed areas and abutting arterial and collector roads with short blocks to promote active transportation modes; and
- iv) the development incorporates linkages to the City's parks and open space system and/or incorporates private or public open space features which serve as focal points for the residential development and/or structural elements which define the character and structure of the area."

The Official Plan Amendment and Zoning By-law amendments requested will provide for the development of the subject lands with a mix of residential development forms and densities that are primarily street oriented in design conforming with the Official Plan. Through the future Site Plan and Draft Plan of Condominium applications, the developer will be required to provide a site design that provides for both internal and external connectivity to promote active transportation and linkages to the City's parks and open space system.

The Official Plan limits height within new residential areas a maximum of four storeys and permits up to six storeys in high density residential areas. The Official Plan Amendment has requested a Medium Density Residential – Special designation that would allow a maximum height of six storeys for apartment buildings. Since this is a new residential area, a height of six storeys for apartment dwellings will not create compatibility issues with abutting uses. Any proposed apartment dwellings will be subject to site plan control where items such as site design, access, elevations, screening, massing will be reviewed to ensure compliance with the City's Urban Design Guidelines and Official Plan policies.

The subject land is also located within the Stratford West Secondary Plan Area and policies to guide the development of land within this secondary plan area are contained in Section 11.2 of the Official Plan. The requested Official Plan Amendment aligns with the vision for this area as set out in the secondary plan through the provision of medium and low density housing forms within the density ranges contemplated by the secondary plan policies.

A portion of the lands are comprised as Flooding and Erosion Hazards within the Upper Thames River Conservation Area regulation limit. The proposed amendment is intended to update and relocate the Regulatory Flood Limit to align with the proposed drainage that will be designed in accordance with the Court and McNamara Drain Master Drainage Plan.

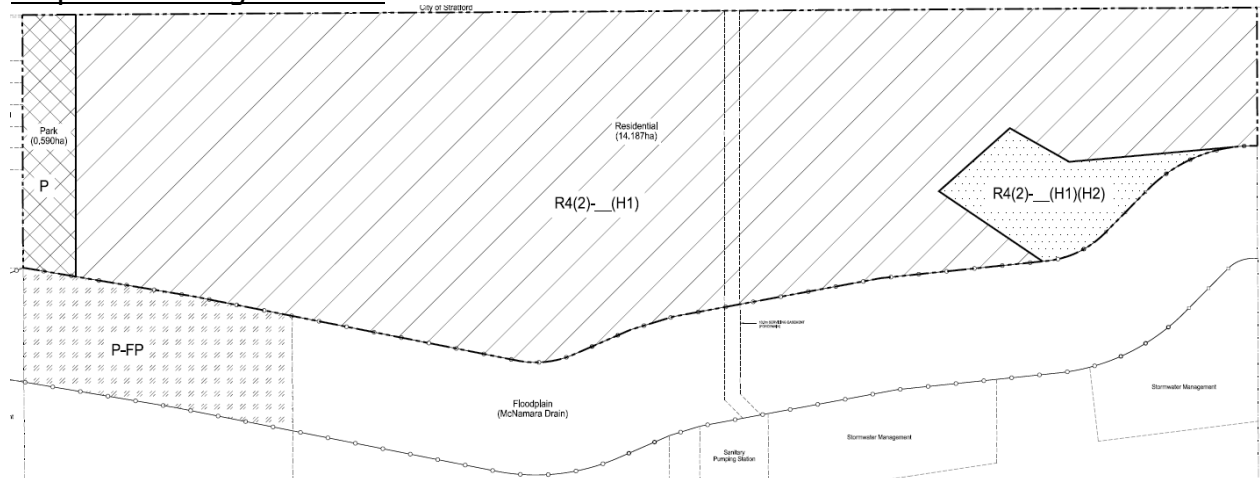
The requested Official Plan Amendment conforms with the City of Stratford Official Plan.

### Zoning By-Law

The lands are zoned Agriculture (A) Zone in the Township of Perth East Zoning By-law which permits farm uses on a lot with a minimum area of 30 hectares, home occupation, a bed and breakfast, airfield, kennel, limited existing uses, conservation, forestry, recreational trails, aggregate operations and accessory uses.

The Zoning By-law Amendment application is seeking to rezone a portion of the subject lands to a Residential Fourth Density (R4-2) zone with site specific provisions, a portion of the subject lands as Park and a portion as Floodplain.

### Proposed Zoning Schedule



### Residential Fourth Density

The R4-2 zoning provisions have been structured in a manner that will facilitate the future development of the lands through a Phase Standard Condominium. Through this type of future condominium application, blocks and lots are not created. As a result, the zoning provisions have been structured to measure setbacks between building walls, rather than lot lines, to ensure that appropriate development standards are implemented.

The R4-2 site specific zone requested would permit cluster housing, single detached, semi-detached, triplex, townhouse dwellings, stacked townhouse dwelling, back-to-back townhouse dwelling and apartment dwellings. The following general use regulations are requested and are structured to function as interior side yard setbacks, exterior side

yard setbacks, lot coverage, landscaped open space do in the lands immediately to the south.

### **Residential Fourth Density R4(2)-XX**

| <b>Regulations</b>                                 | <b>Cluster townhouse housing, single detached, semi-detached, triplex, street townhouse dwelling, townhouse dwelling, back-to-back townhouse dwelling, stacked townhouse dwelling</b> | <b>Apartment dwellings</b> |
|--|---|----------------------------|
| Setback from a Collector Road and an Arterial Road | 7.5 metres  | 7.5 metres                 |

### **Setbacks:**

| <b>Regulations</b>   | <b>Cluster townhouse housing, single detached, semi-detached, triplex, street townhouse dwelling, townhouse dwelling, back-to-back townhouse dwelling, stacked townhouse dwelling</b> | <b>Apartment dwellings</b> |
|--|---|----------------------------|
| Between a Building <sup>6</sup> and a Road, in which primary vehicular access to a dwelling is provided <sup>1</sup> | 6.0 metres  | 6.0 metres                 |
| Between a Building <sup>6</sup> and a Road, in which no vehicular access is provided                                 | 4.5 metres  | 5.0 metres                 |
| Between Building <sup>6</sup> Walls with No Windows  | 3.0 metres  | 5.0 metres                 |
| Between Building <sup>6</sup> Walls with Windows to Non-Habitable Rooms  | 3.0 metres  | 10.0 metres                |
| Between Building <sup>6</sup> Walls with Windows to Habitable Rooms  | 12.0 metres, provided that where the building walls are side walls and do not constitute a rear yard  | 15.0 metres                |

|   |  |  |
|---|--|--|
|   | amenity area, a minimum of 4 metres is required                                  |  |
| Between a Building <sup>6</sup> with Windows to a habitable room and Publicly Owned Lands   | 6.0 metres   | 6.0 metres   |
| Between a Building <sup>6</sup> with window to non-habitable rooms and Publicly Owned Lands | 1.5 metres   | 5.0 metres <sup>7</sup>  |
| Maximum Height  | 12.0 metres <sup>2</sup>   | 22.0 metres or 6 storeys, whichever is lesser                                    |
| Minimum Density   | 16 units per hectare <sup>3</sup>  | 16 units per hectare <sup>3</sup>  |
| Maximum Density   | 65 units per hectare <sup>3</sup>  | 100 units per hectare <sup>3</sup>   |
| Maximum Lot Coverage  | 30% <sup>3</sup>   | 35% <sup>3</sup>   |
| Off-Street Parking  | 1.5 spaces per dwelling unit <sup>5</sup>  | 1.25 parking spaces per dwelling unit <sup>4</sup>                               |
| Minimum Landscaped Open Space   | 30% <sup>3</sup>   | 30% <sup>3</sup>   |
| Minimum Site Triangle   | 10 metres by 10 metres at an intersection of a collector/arterial road to a Road | 10 metres by 10 metres at an intersection of a collector/arterial road to a Road |

1. "Road" – shall mean a highway as defined in the Municipal Act which has been assumed for public use and is being maintained by the Municipality and/or includes a roadway that forms part of the common elements of a condominium plan if such roadway provides vehicular access to and from a highway as defined in the Municipal Act which has been assumed for public use and is being maintained by the Municipality and/or a private road subject to Site Plan Approval and a Site Plan Agreement.
2. Back-to-back townhouses and stacked townhouses are permitted to have a maximum height of 13.5 metres.
3. Minimum and maximum density as well as minimum landscaped open space, maximum lot coverage will be calculated based on total land area that is subject to Site Plan Approval under the *Planning Act*.
4. 0.25 of the required parking spaces per dwelling unit shall be designated as visitor parking.
5. Tandem parking (up to a maximum of 2 vehicles) in a driveway, accessory to a cluster townhouse dwelling unit, shall be permitted.
6. Where a wall is a common wall, the setback shall be 0 metres
7. Or half the height of the building, whichever is greater

8. Any attached or detached garage shall not exceed sixty (60) per cent of the width of the front building elevation of a dwelling unit (measured from inside face of outside wall or common wall to inside face of outside wall or common wall).

The subject lands will have access to full municipal water and sanitary services, however, in accordance with information provided in the Class EA for the Quinlan Pumping Station, based on the size of the subject lands, servicing will only be for a maximum of 392 dwelling units. The applicant has asked for a 'Medium Density Residential- Special Policy Area' designation that would permit a density of 16-100 units per hectare. Section 9.2.4 of the Official Plan sets out the situations where a Holding Provision can be utilized. This includes application of a Holding Provision where the lands are deemed appropriate for development, but that the provision of sewer and/or waters services have not yet been resolved. A Holding Provision is recommended over the subject lands to limit the total number of residential units to 392 until future servicing constraints has been addressed.

A portion of the lands proposed for development is located within the existing floodplain. Work is currently underway within the McNamara drain that will have the effect of altering the floodplain to allow for the development of these lands. It is recommended that an additional Holding Provision be applied to lands within the existing floodplain to prevent any buildings or structures on these lands until the works to the McNamara Drain and floodplain have been completed and accepted by the City.

#### Park – Flood Plain

The applicant is proposing to zone the McNamara Drain a Park- Flood Plain (P-FP) zone. The Park zone permits an auditorium, cemetery, golf course, park, private club, private club, public use, recreational park and a theatre. In accordance with Section 4.7.2 of the Zoning By-law, these lands are proposed to include the flood plain zoning to identify that they are below the regulatory flood line and subject to the requirements of the Upper Thames River Conservation Authority with respect to the erection of buildings and structures.

#### Park Zone

The park lands are proposed to be zoned Park. The Park zone permits an auditorium, cemetery, golf course, park, private club, private club, public use, recreational park and a theatre. Within the Park zone, a public use and recreational park are permitted uses.

Subject to the proposed Holding Provisions the requested zones are appropriate for the subject lands and are consistent with the general intent of the Zoning By-law.

#### **Financial Implications:**



**Other:** Development charges are applicable for the future dwellings built on the subject lands. The amount will vary, depending on the overall number of units constructed and the type of unit constructed.

### **Alignment with Strategic Priorities:**

#### **Strengthening our Plans, Strategies and Partnerships**

Partnering with the community to make plans for our collective priorities in arts, culture, heritage and more. Communicating clearly with the public around our plans and activities.

#### **Widening our Economic Opportunities**

Strengthening Stratford's economy by developing, attracting and retaining a diversity of businesses and talent.

### **Alignment with One Planet Principles:**

#### **Health and Happiness**

Encouraging active, social, meaningful lives to promote good health and wellbeing.

#### **Equity and Local Economy**

Creating safe, equitable places to live and work which support local prosperity and international fair trade.

#### **Land and Nature**

Protecting and restoring land for the benefit of people and wildlife.

#### **Sustainable Water**

Using water efficiently, protecting local water resources and reducing flooding and drought.

#### **Travel and Transport**

Reducing the need to travel, encouraging walking, cycling and low carbon transport.

### **Staff Recommendation:**

#### **Official Plan Amendment:**

**THAT the application OP01-21 to amend the Official Plan designation on the subject lands by amending Schedule "A" to a 'Medium Density Residential Area-Special' designation to permit a range of residential uses at a density of 16-100 units per net hectare; permit a maximum height of 6 storeys for apartment dwellings and 4 storeys for other residential uses; to designate a portion of the lands 'Parks and Open Space'; and to alter the 'Regulatory Flood Hazard' limit and to amend Schedule "B" by altering the 'Regulatory Flood Hazard' limit, and UTRCA Regulation limit BE APPROVED.**

#### **Zoning By-law Amendment:**

**THAT the application Z01-21 to amend the zoning on the subject lands from Agriculture in the Township of Perth East Zoning By-law 30-1999 to:**

- **Residential Fourth Density R4(2)-XX(H1) and a Residential Fourth Density R4(2)-XX(H1)(H2) zone that permits cluster townhouse dwellings, single detached, semi-detached, townhouses, triplex dwellings, back-to-back townhouses, and stacked townhouses and apartment dwelling units with two sets of site specific regulations (one for apartment dwellings and the other for all other permitted uses), height, minimum and maximum density, parking, setbacks from public roads, lot coverage, landscaped open space, and setbacks,**
- **Park (P) zone that permits auditorium, cemetery, golf course, park, private club, private club, public use, recreational park and a theatre,**
- **Park- Floodplain (P-FP) zone that permits auditorium, cemetery, golf course, park, private club, private club, public use, recreational park and a theatre. These lands are below the regulatory flood line and subject to the requirements of the Upper Thames River Conservation Authority with respect to the erection of buildings and structures,**

**Be APPROVED.**

**Approval of the Official Plan Amendment and Zoning By-law Amendment is recommended because:**

- I. public interest was considered;**
- II. the request is consistent with the Provincial Policy Statement;**
- III. the request is consistent with the goals and objectives of the Official Plan;**
- IV. the recommended zone change will facilitate development that is appropriate for the lands, will not impact surrounding lands and is considered to be sound land use planning;**
- V. it will provide a wide range of housing to meet the needs of the existing and future residents and**
- VI. the recommended zone change will encourage efficient use of land and planned infrastructure.**

**Prepared by:**

**Recommended by:**

Alyssa Bridge, MCIP, RPP, Manager of Planning  
Taylor Crinklaw, Director of Infrastructure and  
Development Services  
Joan Thomson, Chief Administrative Officer

# City of Stratford

Official Plan Amendment No. \_

## **Section 1 – Title and Components**

This amendment shall be referred to as Amendment No. \_\_\_ to the Official Plan of the City of Stratford. Sections 1 to 4 constitute background information and are not part of the formal Amendment. Section 5 constitutes the formally adopted Amendment to the Official Plan.

## **Section 2 – Purpose of the Amendment**

The purpose of this amendment is to redesignate the Subject Lands from "Residential Area", "Parks and Open Space", "Regulatory Flood Hazard" and "Medium Density Residential" to "Parks and Open Space" and the following:

1. "Medium Density Residential" with a Special Policy Area that:
  - a. Permits a range of low and medium density residential uses, including: single detached; semi-detached; townhouse dwellings; apartment type dwellings; back-to-back and stacked townhouses; and,
  - b. Permits a minimum and maximum residential density of between 16 and 100 units per net hectare for each Phase in the Subdivision.
  - c. Permit a maximum residential height of 4 storeys, except for apartment dwellings which are permitted to a maximum of 6 storeys.

The amendment will also update Schedule A to relocate the proposed Regulatory Flood Hazard Limit and Schedule "B" to relocate the Flood Hazard Erosion Hazard and UTRCA Regulation Limit from their current locations to match the proposed drainage course, per the Court and McNamara Drain Master Drainage Plan.

## **Section 3 – Location**

The Subject Lands are located in the northwest area of the City of Stratford, north of the McNamara Drain with frontage along Perth Line 36. The Subject Lands have a total area of approximately 14.78 hectares.

## **Section 4 – Basis of Amendment**

The City of Stratford completed their new comprehensive Official Plan update through Amendment No. 21 ("OPA 21"). OPA 21 came into effect August 11<sup>th</sup>, 2016.

Prior to the approval of the updated Official Plan (OPA 21), the City of Stratford completed a Secondary Planning Process for the Stratford West Secondary Plan Area. The Secondary Plan was approved through OPA 16 of the previous Official Plan and was incorporated into the updated plan through OPA 21. Policies in Section 11 of the Official Plan state that the Stratford West community is one of the primary areas to accommodate new residential growth in the City of Stratford.

Land uses in Stratford West Secondary Plan are to be predominately low density residential, although a "Medium Density Residential" designation was imposed in areas to ensure a minimum residential density of between 30 to 100 units per hectare was achieved in those areas.

The Subject lands are proposed to be redesignated as Parks and Open Space and Medium Density Residential within a Special Policy Area which requires a minimum

density of 16 to 100 units per net hectare. Although the minimum density has been reduced from the Medium Density Residential designation, the minimum number of units that can be developed will be slightly higher than the minimum number of units that could have been developed under the previous Medium Density and Residential Area designations combined.

In addition to land use changes, modifications are underway to the McNamara Drain to permit the development of the subject lands. This change requires modification to the Regulatory Flood Hazard line shown on Schedule "A" of the Official Plan as well as to the Flood Hazard, and UTRCA Regulation Limits shown on Schedule "B" of the Official Plan. The outline of each feature has been determined by location of the drainage course provided in the Court and McNamara Drain Master Drainage Plan.

The Stratford West Community will become a significant residential neighbourhood, well designed to promote a high quality of life for existing and future residents. The proposed Official Plan Amendment rearranges the potential density and natural hazard features, while maintaining the planning policy framework of the West Stratford Secondary Plan.

The proposed Official Plan Amendment is consistent the 2020 Provincial Policy Statement. The proposed Official Plan Amendment also conforms to the City of Stratford Official Plan.

## **Section 5 – The Amendment**

The Official Plan of the City of Stratford is amended as follows:

1. By adding the following new Section 11.2.20 to the Official Plan:

"Notwithstanding the uses permitted in the Medium Density Residential designation, within Special Policy Area \_\_, the following additional residential uses shall be permitted: single detached; semi-detached; townhouse dwellings; apartment type dwellings; triplex dwellings; back-to-back and stacked townhouses"

2. By also adding the following new Section 11.2.20 to the Official Plan:

"Notwithstanding the density provided in the Medium Density Residential designation, within Special Policy Area \_\_ the following residential densities shall apply:

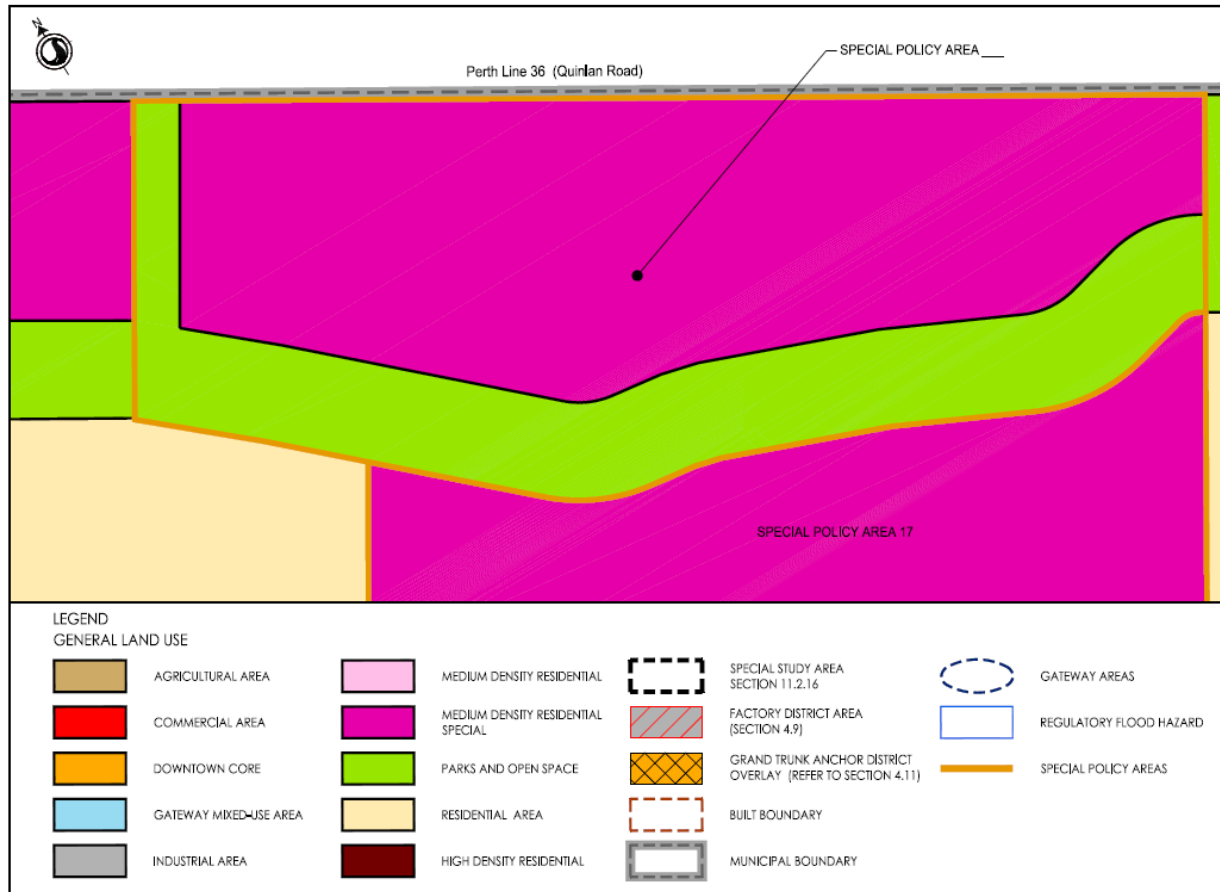
- a. A minimum density of 16 units per net hectare and a maximum density of 100 units per net hectare.

"Notwithstanding the height provided in section 4.5.3.4 within the Medium Density Residential designation, within Special Policy Area \_\_ the following residential heights shall apply:

- a. A maximum height of 6 storeys for apartment dwellings; and
- b. A maximum height of 4 storeys for all other residential uses.

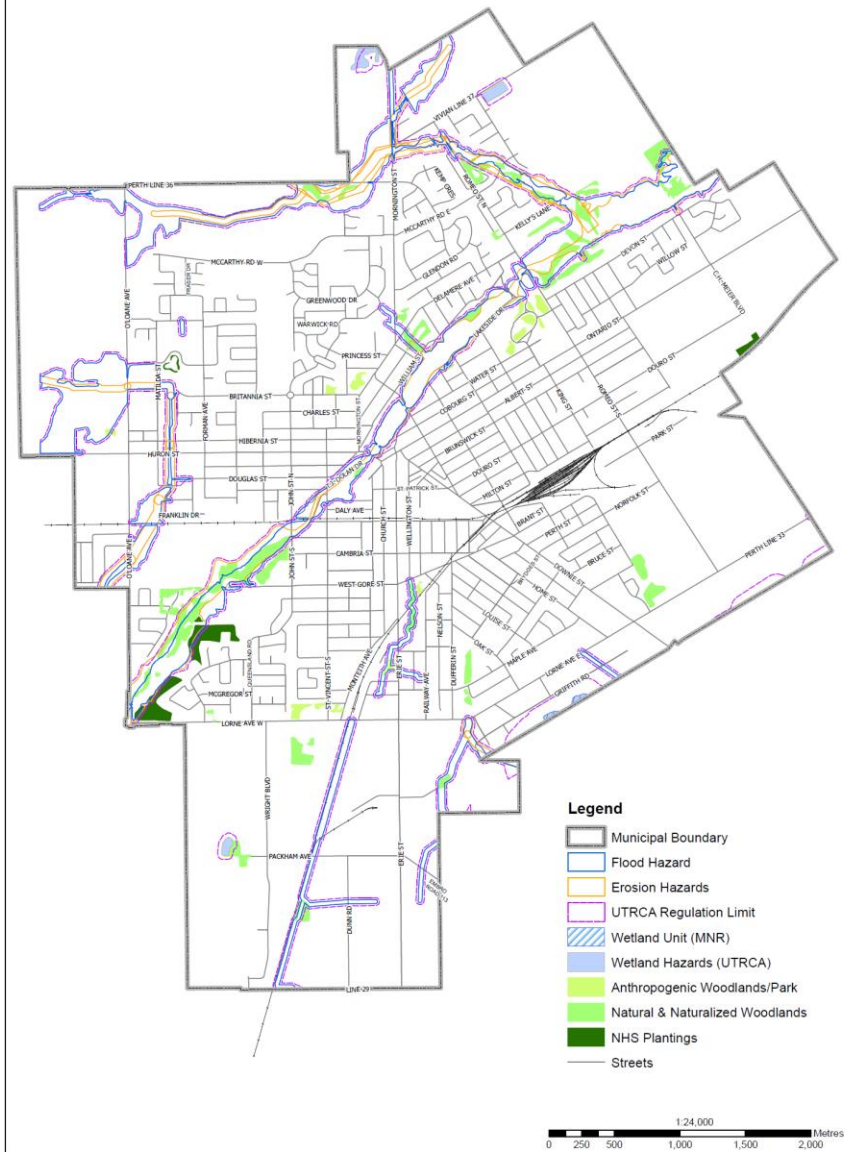
3. By amending Schedule "A", General Land Use Plan and Schedule "B", Natural Heritage and Natural Hazards and replacing them with the revised Schedule "A", General Land Use Plan and Schedule "B", Natural Heritage and Natural Hazards, which are attached and form part of this amendment.

Schedule "A"  
To Official Plan Amendment No. \_\_\_\_\_



Schedule "B"  
To Official Plan Amendment No. \_\_\_\_\_

CITY OF STRATFORD OFFICIAL PLAN  
SCHEDULE B  
NATURAL HERITAGE AND NATURAL HAZARDS  
APPROVED JULY 21, 2016  
CONSOLIDATED MAY 1, 2019





Being a By-law to amend Zoning By-law 201-2000 as amended, with respect to Zone Change Application Z01-21 to rezone part of Part Lots 3 and 4, Concession 2, (Geographic Township of Ellice), City of Stratford to a Residential Fourth Density R4(2) zone with site specific regulations

**WHEREAS** authority is given to the Council of The Corporation of the City of Stratford by Section 34 of the Planning Act, R.S.O. 1990, c.P.13, as amended, to pass this by-law;

**AND WHEREAS** the said Council has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act;

**AND WHEREAS** the Council of The Corporation of the City of Stratford deems it in the public interest that By-law 201-2000, as amended, known as the Zoning By-law, be further amended;

**NOW THEREFORE BE IT ENACTED** by the Council of The Corporation of the City of Stratford as follows:

1. That Schedule A, Map 2a to Zoning By-law 201-2000 as amended, is hereby amended:

By changing from Agriculture to a Residential Fourth Density with site specific regulations R4(2)-XX(H1), R4(2)-XX(H1)(H2), Park (P) and Park Floodplain (P-FP) on Schedule "A", attached hereto and forming part of this By-law, outlined in heavy lines and described as and more particularly described as part of Part Lots 3 and 4, Concession 2, (Geographic Township of Ellice), City of Stratford

2. The Township of Perth East Zoning By-law 30-1999 as it applies to the subject lands on Schedule "A" is hereby repealed.
3. That Zoning By-law 201-2001 as amended, be further amended by adding Section 8.4.\_, being Exceptions of Residential Fourth Density R4(2) Zone, the following:

"8.4\_

- Defined Area (Northwest Stratford, north of the McNamara Drain) R4(2)-XX(H1) and R4(2)-XX(H1)(H2) as shown on Schedule "A"
- Permitted Uses  
Cluster housing, single detached, semi-detached, triplex, townhouse dwelling, back-to-back townhouse dwelling, stacked townhouse dwelling and apartment dwellings

- General Use Regulations  
In accordance with Table 8-3

**Table 8-3  
Residential Fourth Density R4(2)-XX(H)**

| <b>Regulations</b>                                 | <b>Cluster townhouse dwelling, single detached, semi-detached, triplex, street townhouse dwelling, townhouse dwelling, back-to-back townhouse dwelling, stacked townhouse dwelling</b> | <b>Apartment dwellings</b> |
|--|--|----------------------------|
| Setback from a Collector Road and an Arterial Road | 7.5 metres   | 7.5 metres                 |

**Setbacks:**

| <b>Regulations</b>   | <b>Cluster townhouse dwelling, single detached, semi-detached, triplex, street townhouse dwelling, townhouse dwelling, back-to-back townhouse dwelling, stacked townhouse dwelling</b> | <b>Apartment dwellings</b> |
|--|--|----------------------------|
| Between a Building <sup>6</sup> and a Road, in which primary vehicular access to a dwelling is provided <sup>1</sup> | 6.0 metres   | 6.0 metres                 |
| Between a Building <sup>6</sup> and a Road, in which no vehicular access is provided                                 | 4.5 metres   | 5.0 metres                 |

|   |  |  |
|---|--|--|
| Between Building <sup>6</sup> Walls with No Windows   | 3.0 metres   | 5.0 metres <sup>7</sup>  |
| Between Building <sup>6</sup> Walls with Windows to Non-Habitable Rooms                     | 3.0 metres   | 10.0 metres  |
| Between Building <sup>6</sup> Walls with Windows to Habitable Rooms                         | 12.0 metres, provided that where the building walls are side walls and do not constitute a rear yard amenity area, a minimum of 4 metres is required | 15.0 metres  |
| Between a Building <sup>6</sup> with Windows to a habitable room and Publicly Owned Lands   | 6.0 metres   | 6.0 metres   |
| Between a Building <sup>6</sup> with window to non-habitable rooms and Publicly Owned Lands | 1.5 metres   | 5.0 metres   |
| Maximum Height  | 12.0 metres <sup>2</sup>   | 22.0 metres or 6 storeys, whichever is lesser                                    |
| Minimum Density   | 16 units per hectare <sup>3</sup>  | 16 units per hectare <sup>3</sup>  |
| Maximum Density   | 65 units per hectare <sup>3</sup>  | 100 units per hectare <sup>3</sup>   |
| Maximum Lot Coverage  | 30% <sup>3</sup>   | 35% <sup>3</sup>   |
| Off-Street Parking  | 1.5 spaces per dwelling unit <sup>5</sup>  | 1.25 parking spaces per dwelling unit <sup>4</sup>                               |
| Minimum Landscaped Open Space   | 30% <sup>3</sup>   | 30% <sup>3</sup>   |
| Minimum Site Triangle   | 10 metres by 10 metres at an intersection of a collector/arterial road to a Road   | 10 metres by 10 metres at an intersection of a collector/arterial road to a Road |

9. "Road" – shall mean a highway as defined in the Municipal Act which has been assumed for public use and is being maintained by the Municipality and/or includes a roadway that forms part of the common elements of a condominium plan if such roadway provides vehicular access to and from a highway as defined in the Municipal Act which has been assumed for public use and is being maintained by the Municipality and/or a private road subject to Site Plan Approval and a Site Plan Agreement.
10. Back-to-back townhouses and stacked townhouses are permitted to have a maximum height of 13.5 metres.
11. Minimum and maximum density as well as minimum landscaped open space, maximum lot coverage will be calculated based on total land area that is subject to Site Plan Approval under the *Planning Act*.
12. 0.25 of the required parking spaces per dwelling unit shall be designated as visitor parking.
13. Tandem parking (up to a maximum of 2 vehicles) in a driveway, accessory to a cluster townhouse dwelling unit, shall be permitted.
14. Except that no setback shall be required on the side where individual townhouse dwellings units or individual dwelling units of a semi-detached dwelling are attached together by a common wall extending along the side lot line separating such lots, provided that any direct extension therefor shall be setback not less than 3.0 metres from the building wall.
15. Or half the height of the building, whichever is greater.
16. Any attached or detached garage shall not exceed sixty (60) per cent of the width of the front building elevation of a dwelling unit (measured from inside face of outside wall or common wall to inside face of outside wall or common wall).

d) Holding Provision

- The holding provision (H1) shall apply to the lands zoned R4(2)-XX(H1) and R4(2)-XX(H1)(H2) as outlined by Schedule "A", hereto.
- Until such time as the (H1) is removed, a maximum of 392 dwelling units are permitted on the lands zoned R4(2)-XX(H1) and R4(2)-XX(H1)(H2). The (H1) shall not be removed until servicing has been addressed to the satisfaction of the City of Stratford Engineering Division for the lands outlined in Schedule "A" hereto.
- The holding provision (H2) shall apply to the lands zoned R4(2)-XX(H1)(H2) as outlined on Schedule "A". hereto.
- Until such time as the (H2) is removed, no buildings or structures are permitted on lands zoned R4(2)-XX(H1)(H2) until the works have been completed and accepted to the floodplain to the satisfaction of the City of Stratford Engineering Division for the lands outlined in Schedule "A" hereto.

4. This By-law shall come into effect upon Final Passage and in accordance with the Planning Act.

Read a FIRST, SECOND and THIRD TIME AND

FINALLY PASSED this the xxth day of xxxxx, 2022.

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Mayor – Daniel B. Mathieson

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City Clerk – Tatiana Dafoe

Schedule A to By-law XX-2021  
Adopted this \_\_\_\_ day of \_\_\_\_, 2021

4117 Perth Line 36

