



Stratford City Council
Regular Council Open Session
AGENDA

Meeting #: 4680th
Date: February 14, 2022
Time: 7:00 P.M.
Location: Electronic Meeting

Council Present: Mayor Mathieson - Chair Presiding, Councillor Beatty, Councillor Bunting, Councillor Burbach, Councillor Clifford, Councillor Gaffney, Councillor Henderson, Councillor Ingram, Councillor Ritsma, Councillor Sebben, Councillor Vassilakos

Staff Present: Joan Thomson - Chief Administrative Officer, Tatiana Dafoe - City Clerk, David St. Louis - Director of Community Services, Kim McElroy - Director of Social Services, John Paradis - Fire Chief, Taylor Crinklaw - Director of Infrastructure and Development Services, Karmen Krueger - Acting Director of Corporate Services, Anne Kircos - Acting Director of Human Resources, Chris Bantock - Deputy Clerk, Jodi Akins - Council Clerk Secretary, Stephanie Potter - Corporate Initiatives Lead, Alyssa Bridge - Manager of Planning, Jeff Bannon - Planner

To watch the Council meeting live, please click the following link: <https://stratford-ca.zoom.us/j/89228203512?pwd=SWxnRHVOTHN5VnRsWng3UDRQdmtGUT09>

A video recording of the meeting will also be available through a link on the City's website at <https://www.stratford.ca/en/index.aspx> following the meeting.

Pages

1. Call to Order:

Mayor Mathieson, Chair presiding, to call the Council meeting to order.

Moment of Silent Reflection

2. Declarations of Pecuniary Interest and the General Nature Thereof:

The *Municipal Conflict of Interest Act* requires any member of Council declaring a pecuniary interest and the general nature thereof, where the interest of a member of Council has not been disclosed by reason of the member's absence from the meeting, to disclose the interest at the first open meeting attended by the member of Council and to otherwise comply with the *Act*.

Name, Item and General Nature of Pecuniary Interest

3. Adoption of the Minutes:

14 - 20

Motion by _____

THAT the Minutes of the Regular Meeting of Council of The Corporation of the City of Stratford dated January 24, 2022 be adopted as printed.

4. Adoption of the Addendum/Addenda to the Agenda:

Motion by _____

THAT the Addendum/Addenda to the Regular Agenda of Council and Standing Committees dated February 14, 2022 be added to the Agenda as printed.

5. Report of the Committee of the Whole In-Camera Session:

5.1. At the February 2, 2022, Session, under the Municipal Act, 2001, as amended, a matter concerning the following item was considered:

3.1 Good Governance Education and Training Session - A meeting of a council or local board or of a committee of either of them may be closed to the public if the following conditions are both satisfied:

1. The meeting is held for the purpose of educating or training the members.
2. At the meeting, no member discusses or otherwise deals with any matter in a way that materially advances the business or decision-making of the council, local board or committee. 2006, c. 32, Sched. A, s. 103 (1). (section 239.(3.1)).

As the purpose of the In-camera Session was to provide education and training no direction was given.

5.2. At the February 9, 2022, Session, under the Municipal Act, 2001, as amended, a matter concerning the following item was considered:

3.1 Closed Meetings Education and Training Session - A meeting of a council or local board or of a committee of either of them may be closed to the public if the following conditions are both satisfied:

1. The meeting is held for the purpose of educating or training the members.
2. At the meeting, no member discusses or otherwise deals with any matter in a way that materially advances the business or decision-making of the council, local board or committee. 2006, c. 32, Sched. A, s. 103 (1). (section 239.(3.1)).

As the purpose of the In-camera Session was to provide education and training no direction was given.

5.3. February 14, 2022, Committee of the Whole In-camera Session

The February 14, 2022, Committee of the Whole In-camera Session has been cancelled.

6. Hearings of Deputations and Presentations:

6.1. Presentation by KPMG - Update on Business Process Review: Facilities Data Collection Strategy

21 - 59

Bruce Peever, Lead Engagement Partner and Sana Malik, Project Manager of KPMG will be in attendance at Council to present an update regarding the Business Process Review: Facilities Data Collection Strategy.

Motion by _____

THAT the presentation by Bruce Peever, Lead Engagement Partner and Sana Malik, Project Manager, on behalf of KPMG be heard.

Motion by _____

Staff Recommendation: THAT Council approves the Business Process Review: Facilities Data Collection Strategy by KPMG;

THAT the Business Process Review: Facilities Data Collection Strategy be referred to the Corporate Leadership Team to review and implement;

AND THAT any Facilities Business Process Review recommendations with unfunded budget implications be brought to Council for consideration prior to implementation.

6.2. Presentation by United Way Perth Huron

Ryan Erb, Executive Director, and Elizabeth Cooper, Community Development Manager, of the United Way Perth Huron, have requested to address Council to provide an update on their current campaign, the Connection Centre being fundraised for, and to thank the City for its

workplace campaign and ongoing support.

Motion by _____

THAT the presentation by Ryan Erb, Executive Director, and Elizabeth Cooper, Community Development Manager, on behalf of the United Way-Perth Huron be heard.

7. Orders of the Day:

7.1. Resolution - Request to allow for a Minor Variance application for 1041 Erie Street (COU22-010) 60 - 66

Joshua Salama-Frakes, Project Manager, and Mike Eldbebs, Owner, will be in attendance at the meeting should Council have any questions.

Motion by _____

Staff Recommendation: THAT Mike Eldebs be permitted to submit a minor variance application to the Committee of Adjustment for the lands located at 1041 Erie Street.

7.2. Resolution - Inclusion of Ongoing Zoning By-law Amendments into the Final Draft Comprehensive Zoning By-law (COU22-011) 67 - 68

Motion by _____

Staff Recommendation: THAT, pending no appeals being filed and received and upon coming into full force and effect, the following Zoning By-law Amendment be incorporated into the new Comprehensive Zoning By-law:

- 1. 4117 Perth Line 36 as Zone Exception 15.4.28 and on Schedule A, Map 2a.**

7.3. Correspondence - Ontario Good Roads Association 69 - 72

The Good Roads Board of Directors has recommended a slate of candidates to fill current vacancies on the Board.

Anyone currently serving on Council or employed in a full time capacity with a Good Roads member municipality or First Nation and who wishes to contest the recommended slate may file a nomination form which will result in an election to be held at the Good Roads Annual Conference on Tuesday, April 12, 2022.

Nominations must be received by no later than 4:00 p.m. Friday, February 25, 2022.

For the information of Council.

7.4. Resolution - 2022 Budget Adoption and By-Law (COU22-012)

73 - 81

Motion by _____

Staff Recommendation: THAT Council approve the 2022 operating and capital budget, including the changes to the capital projects noted in the report of the Acting Director of Corporate Services dated February 14, 2022 (COU22-012).

7.5. Correspondence - Draft Comprehensive Zoning By-law

82

Motion by _____

THAT the correspondence from the Stratford and Area Builder's Association dated October 14, 2021 regarding the Draft Comprehensive Zoning By-law be received for information.

8. Business for Which Previous Notice Has Been Given:

None scheduled.

9. Reports of the Standing Committees:**9.1. Report of the Planning and Heritage Committee:**

Motion by _____

THAT the Report of the Planning and Heritage Committee dated February 14, 2022 be adopted as printed.

9.1.1. Planning Report – Modification to Draft Approved Plan of Subdivision 31T18-003, 4178 Perth Line 36 (PLA22-001)

83 - 90

THAT the draft conditions of approval of plan of subdivision 31T18-003 be modified as follows:

Revise Condition #1 to read:

This draft approval applies to the draft plan submitted by Zelinka Priamo Ltd., prepared by MTE, certified by Trevor McNeil O.L.S., Drawing No. DP1 dated Nov. 21/2019, as red line amended, which shows a total of 99 single detached residential lots, 1 multiple unit development block, 1 park block, 1 access block, 2 stormwater management blocks, 3 open space blocks, 2 road widenings blocks and 6-0.3m reserve blocks all served by 2 new local streets.

Revise Condition #15 to read:

The Owner shall dedicate all 0.3 m reserve block (Blocks 108 to 113, both inclusive) to the City of Stratford free of

encumbrances, to the satisfaction of the City.

PARKLAND

Revise Condition #22 to read:

The Owner shall dedicate Block 106 to the City of Stratford for Park purposes and pay the City cash-in-lieu for 0.731 ha of parkland pursuant to the provisions of Section 51.1 of the Planning Act. The dedication of Block 106 and cash-in-lieu for 0.731 ha shall satisfy the parkland dedication requirements for all lands within the boundary of this draft plan and within the boundary of draft approval 31T-12001A. All costs associated shall be borne by the Owner.

Revise Condition #23 to read:

In conjunction with the submission of engineering drawings, the Owner shall submit park design and grading and servicing plans, for review and approval by the Director of Infrastructure and Development Services, which accommodate an east-west pathway on Blocks 103 and 105 to the satisfaction of the Director of Community Services and the Director of Infrastructure and Development Services.

Revise Condition #24 to read:

The Owner shall grade, service and seed Block 106 within one year of final approval of the appropriate phase, to the satisfaction of the Director of Community Services and the Director of Infrastructure and Development Services.

Trails/Bikeways/Pedestrian Easements

Revise Condition #27 to read:

Prior to final approval, the Owner shall dedicate a blanket easement for public access through Blocks 103, 104, 105 & 107 in favour of the City to the satisfaction of the Manager Development Services.

STORMWATER SERVICING:

Revise Condition #33 to read:

Concurrent with final approval of the plan, the Owner shall provide all required and adequate land dedications related to the stormwater works, including Blocks 101 & 102, satisfactory to the City.

TRANSPORTATION:

Revise Condition #50i)b) to read:

The Owner shall construct a 1.5 metres (5') sidewalk on the following streets to the satisfaction of the City Engineer within a time-frame as directed by the City Engineer:

b) Street 'B' - abutting the exterior side yard of lot 60 and the frontage of lots 59 to 75 including Blocks 100, 102 and 106.

Connecting Roads/Terminations

Revise Condition #54 to read:

The Owner shall convey road widening Blocks 114 and 115 to the City of Stratford free of encumbrances and at no cost to the City to the satisfaction of the City.

Delete condition #55

Conservation Regulation Area And FLOODPLAIN

Revise Condition #60 to read:

The regrading and channelization of Blocks 103, 104 and 105 is to be completed all at once generally in keeping with the Master Drainage Plan prepared by McCormick Rankin Corporation and approved report, 2007 to the satisfaction of the Director of Infrastructure and Development Services and Upper Thames River Conservation Authority. No works shall be completed in contravention of the Drainage Act.

Revise Condition #61 to read:

Channelization and regrading within Blocks 103, 104 and 105 is to occur prior to any excavation or regrading within the existing flood plain limits to ensure flood storage is maintained. The Owner agrees to provide certification the channelization and regrading noted above has been completed in accordance with the approved plans to the satisfaction of the Director of Infrastructure and Development Services and Upper Thames River Conservation Authority.

9.1.2. Planning Report, Official Plan Amendment OPA01-21 and Zoning By-law Amendment Z01-21 for 4117 Perth Line 36 (PLA22-002)

91 - 122

Official Plan Amendment:

THAT the application OP01-21 to amend the Official Plan designation on the subject lands by amending Schedule "A" to a 'Medium Density Residential Area-Special' designation to permit a range of residential uses at a density of 16-100 units per net hectare; permit a maximum height of 6 storeys for apartment dwellings and 4 storeys for other residential uses; to designate a portion of the lands 'Parks and Open Space'; and to alter the 'Regulatory Flood Hazard' limit and to amend Schedule "B" by altering the 'Regulatory Flood Hazard' limit, and UTRCA Regulation limit BE APPROVED.

Zoning By-law Amendment:

THAT the application Z01-21 to amend the zoning on the subject lands from Agriculture in the Township of Perth East Zoning By-law 30-1999 to:

- Residential Fourth Density R4(2)-XX(H1) and a Residential Fourth Density R4(2)-XX(H1)(H2) zone that permits cluster townhouse dwellings, single detached, semi-detached, townhouses, triplex dwellings, back-to-back townhouses, and stacked townhouses and apartment dwelling units with two sets of site specific regulations (one for apartment dwellings and the other for all other permitted uses), height, minimum and maximum density, parking, setbacks from public roads, lot coverage, landscaped open space, and setbacks,
- Park (P) zone that permits auditorium, cemetery, golf course, park, private club, private club, public use, recreational park and a theatre,
- Park- Floodplain (P-FP) zone that permits auditorium, cemetery, golf course, park, private club, private club, public use, recreational park and a theatre. These lands are below the regulatory flood line and subject to the requirements of the Upper Thames River Conservation Authority with respect to the erection of buildings and structures,

Be APPROVED.

Approval of the Official Plan Amendment and Zoning By-law Amendment is recommended because:

- public interest was considered;
- the request is consistent with the Provincial Policy Statement;
- the request is consistent with the goals and objectives

of the Official Plan;

- the recommended zone change will facilitate development that is appropriate for the lands, will not impact surrounding lands and is considered to be sound land use planning;
- it will provide a wide range of housing to meet the needs of the existing and future residents and
- the recommended zone change will encourage efficient use of land and planned infrastructure.

9.1.3. Final Draft Comprehensive Zoning By-law for the City of Stratford (PLA21-023)

THAT Council adopt the new Comprehensive Zoning By-law dated August 24, 2021, as amended;

THAT Council repeal City of Stratford Comprehensive Zoning By-law No. 201-2000 in its entirety;

THAT Council repeal the Township of Perth East Zoning By-law No. 30-1999 as it applies to those lands located within City limits in its entirety;

THAT Council repeal the Township of Perth South Zoning By-law No. 4-1999 as it applies to those lands located within City limits with the exception of the 2020 annexation lands;

THAT Council, in accordance with Section 34 (10.0.0.2) of the Planning Act, declare that all zoning by-law amendment applications may be submitted before the second anniversary of the day this By-law is adopted and the previous By-laws are replaced;

THAT the Comprehensive Zoning By-law contain amended zoning for 94 Dickens Place being a R5(1) zone with site specific regulations for a maximum height of 15 metres and a maximum density of 100 units per hectare;

AND THAT Council direct staff to prepare a licensing by-law for Short Term Rental Accommodations.

Council takes the actions above for the following reasons:

- The actions above have regard for the Planning Act and are consistent with the Provincial Policy Statement;
- The actions above implement and conform with the City of Stratford Official Plan;

- The actions above are the result of a comprehensive public consultation process that included
 - over 150 individuals attending one of 4 open houses or the statutory public meeting,
 - approximately 150 individuals who provided feedback and/or requested to be kept informed of the process (on the mailing list);
 - discussions with stakeholder groups; and
 - offered feedback through the City's Shaping Stratford web-page;
- The new Comprehensive By-law will be more user friendly; and

The new Comprehensive By-law is considered appropriate and will result in sound land use planning.

9.2. Report of the Social Services Committee

Motion by _____

THAT the Report of the Social Services Committee dated February 14, 2022 be adopted as printed.

9.2.1. Information on Workforce Funding for Child Care and Early Years (SOC22-002) 123 - 125

THAT the report titled "Information on Workforce Funding for Child Care and Early Years" (SOC22-002) be received for information.

9.2.2. 2021 Homeless Enumeration Results (SOC22-001) 126 - 129

THAT the report titled "2021 Homeless Enumeration Results" (SOC22-001) be received for information.

9.2.3. Coordinated Response for those Unsheltered (SOC22-003) 130 - 150

THAT the report titled "Coordinated Response for those Unsheltered" (SOC22-003) be received for information.

9.3. Report of the Community Services Committee

Motion by _____

THAT the Report of the Community Services Committee dated February 14, 2022 be adopted as printed.

9.3.1. Golf Course 2022 Budget and Fee Schedule (COM22-001)

151 - 155

THAT the 2022 Municipal Golf Course Budget and Fee Schedule be approved as presented.

10. Notice of Intent:**10.1. Notice of Public Meeting under the Development Charges Act**

Stratford City Council will hold a public meeting on Tuesday, March 1, 2022 at 6:00 p.m. via Zoom, to hear all interested persons with respect to the proposed Development Charges By-law and background study. For more information, including to obtain a copy of the proposed Development Charges By-law and background study, please visit the City's website or contact the Clerk's Office at clerks@stratford.ca.

11. Reading of the By-laws:

The following By-laws require First and Second Readings and Third and Final Readings and could be taken collectively upon unanimous vote of Council present:

Motion by _____

THAT By-laws 11.1 to 11.4 be taken collectively.

Motion by _____

THAT By-laws 11.1 to 11.4 be read a First and Second Time.

Motion by _____

THAT By-laws 11.1 to 11.4 be read a Third Time and Finally Passed.

11.1. Adoption of Official Plan Amendment No. 31

156 - 161

To adopt Official Plan Amendment No. 31 to redesignate the subject lands from "Residential Area", "Parks and Open Space", "Regulatory Flood Hazard" and "Medium Density Residential" to "Parks and Open Space".

11.2. Amend Zoning By-law 201-2000 to rezone lands known municipally as Part Lots 3 and 4, Concession 2 (Geographic Township of Ellice)

162 - 166

To amend Zoning By-law 201-2000 as amended, with respect to Zone Change Application Z01-21 to rezone part of Part Lots 3 and 4, Concession 2, (Geographic Township of Ellice), City of Stratford to a Residential Fourth Density R4(2) zone with site specific regulations.

11.3. Adoption of Comprehensive Zoning By-law

167 - 556

To adopt a Comprehensive Zoning By-law to regulate the use of land and the character, location and use of buildings and structures in the City of Stratford and to **repeal** By-law 201-2000 and all amendments thereto, and The Township of Perth East By-law 30-1999, and any amendments thereto as it relates to lands within the corporate limits of the City of Stratford, and The Township of Perth South By-law 4-1999, and any amendments thereto as it relates to lands within the corporate limits of the City of Stratford, excluding provisions for the lands annexed to the City of Stratford in 2020.

11.4. Adoption of 2022 Budget

557 - 570

To adopt the budget (estimates of revenues and expenditures) for tax supported and user pay purposes for the year 2022.

12. Consent Agenda: CA-2022-009 to CA-2022-019

571 - 575

Council to advise if they wish to consider any items listed on the Consent Agenda.

13. New Business:

14. Adjournment to Standing Committees:

The next Regular Council meeting is February 28, 2022 at 7:00 p.m.

Motion by _____

THAT the Council meeting adjourn to convene into Standing Committees as follows:

- **Planning and Heritage Committee [7:05 p.m. or thereafter following the Regular Council meeting];**
- **Finance and Labour Relations Committee [7:10 p.m. or thereafter following the Regular Council meeting];**
- **Infrastructure, Transportation and Safety Committee [7:15 p.m. or thereafter following the Regular Council meeting];**

and to Committee of the Whole if necessary, and to reconvene into Council.

15. Council Reconvene:

15.1. Declarations of Pecuniary Interest made at Standing Committees

The Municipal Conflict of Interest Act requires any member of Council declaring a pecuniary interest and the general nature thereof, where the interest of a member of Council has not been disclosed by reason of the

member's absence from the meeting, to disclose the interest at the first open meeting attended by the member of Council and otherwise comply with the Act.

Declarations of Pecuniary Interest made at Standing Committee meetings held on February 14, 2022 with respect to the following Items and re-stated at the reconvene portion of the Council meeting:

Name, Item and General Nature of Pecuniary Interest

15.2. Reading of the By-laws (reconvene):

576

The following By-law requires First and Second Readings and Third and Final Readings:

By-law 11.5 Confirmatory By-law

To confirm the proceedings of Council of The Corporation of the City of Stratford at its meeting held on February 14, 2022.

15.3. Adjournment of Council Meeting

Meeting Start Time:

Meeting End Time:

Motion by _____

THAT the February 14, 2022 Regular Council meeting adjourn.



Stratford City Council Regular Council Open Session MINUTES

Meeting #:	4678th
Date:	Monday, January 24, 2022
Time:	7:00 P.M.
Location:	Electronic Meeting
Council Present in Council Chambers:	Mayor Mathieson - Chair Presiding
Council Present Electronically:	Councillor Beatty, Councillor Bunting, Councillor Clifford, Councillor Gaffney, Councillor Henderson, Councillor Ingram, Councillor Ritsma, Councillor Sebben, Councillor Vassilakos
Regrets:	Councillor Burbach
Staff Present in Council Chambers:	Joan Thomson - Chief Administrative Officer, Tatiana Dafoe - City Clerk
Staff Present Electronically:	David St. Louis - Director of Community Services, Kim McElroy - Director of Social Services, John Paradis - Fire Chief, Taylor Crinklaw - Director of Infrastructure and Development Services, Karmen Krueger - Acting Director of Corporate Services, Chris Bantock - Deputy Clerk, Alyssa Bridge – Manager of Planning, Jeff Bannon – Planner, Brad Hernden – Manager of Recreation and Marketing Services, Alex Burgess – Manager of Ontario Works, Heather Denny – Events Coordinator
Also Present:	Members of the public and media

1. Call to Order:

Mayor Mathieson, Chair presiding, called the Council meeting to order. Councillor Burbach provided regrets for this meeting.

Moment of Silent Reflection

Councillor Ingram now present at the meeting at 7:01 p.m.

2. Declarations of Pecuniary Interest and the General Nature Thereof:

The *Municipal Conflict of Interest Act* requires any member of Council declaring a pecuniary interest and the general nature thereof, where the interest of a member of Council has not been disclosed by reason of the member's absence from the meeting, to disclose the interest at the first open meeting attended by the member of Council and to otherwise comply with the *Act*.

Name, Item and General Nature of Pecuniary Interest

No declarations of pecuniary interest were made by a member at the January 24, 2022, Regular Council meeting.

3. Adoption of the Minutes:

R2022-14

Motion by Councillor Henderson

Seconded by Councillor Beatty

THAT the Minutes of the Regular Meeting of Council of The Corporation of the City of Stratford dated January 10, 2022, be adopted as printed.

Carried

4. Adoption of the Addendum to the Agenda:

R2022-15

Motion by Councillor Clifford

Seconded by Councillor Sebben

THAT the Addendum to the Regular Agenda of Council and Standing Committees dated January 24, 2022, to add Item 7.3, be added to the Agenda as printed.

Carried

5. Report of the Committee of the Whole In-Camera Session:

5.1 At the January 20, 2022, Session, under the Municipal Act, 2001, as amended, a matter concerning the following item was considered:

3.1 Development Charges Education and Training Session - A meeting of a council or local board or of a committee of either of them may be closed to the public if the following conditions are both satisfied:

1. The meeting is held for the purpose of educating or training the members.
2. At the meeting, no member discusses or otherwise deals with any matter in a way that materially advances the business or decision-making of the council, local board or committee. 2006, c. 32, Sched. A, s. 103 (1). (section 239.(3.1)).

As the purpose of the In-camera Session was to provide education and training no direction was given.

5.2 January 24, 2022, Committee of the Whole In-camera Session

The January 24, 2022, Committee of the Whole In-camera Session was cancelled.

6. Hearings of Deputations and Presentations:

None scheduled.

7. Orders of the Day:

7.1 Resolution - My Main Street Community Activator Grant – Stage and Seating Area on Veterans Drive (COU22-005)

R2022-16

Motion by Councillor Ritsma

Seconded by Councillor Gaffney

THAT staff be authorized to apply for the My Main Street Community Activator Grant for the development of a small stage and additional seating on Veterans Drive, across from the bandshell;

THAT the Stage and Seating Area on Veterans Drive be included in the 2022 budget deliberations;

AND THAT subject to confirmation of receipt of the My Main Street grant funds, staff be authorized to issue tenders for the development and construction of the stage and additional seating.

A question and answer period ensued between members and staff with respect to:

- including accessibility design as a part of the plan and reviewing designs with the Accessibility Advisory Committee;
- a small stage and seating being included opposite the band shell to alleviate concerns about pedestrian crossings; and,
- a curb cut having been installed previously for accessible access from the bandshell.

Mayor Mathieson called the question on the motion.

Carried

7.2 Correspondence - Catch and Release Justice

R2022-17

Motion by Councillor Ingram

Seconded by Councillor Bunting

THAT the correspondence from Stratford Police Services regarding catch and release justice be received;

AND THAT the resolution from the City of Sarnia regarding Catch and Release Justice be endorsed and include the additional items identified by Stratford Police Services.

Carried

7.3 ADDED – Resolution - Request to extend the current exemption from the Noise Control By-law 113-79, for 2021/2022 Lights on Stratford

R2022-18

Motion by Councillor Bunting

Seconded by Councillor Henderson

THAT approval be given to Lights on Stratford for an extension of the current exemption to the Noise Control By-law 113-79 for their event held at Market Square at 1 Wellington Street from 5:00 p.m. to 10:00 p.m. daily until Sunday January 30, 2022 from the following provisions:

- **Unreasonable noise [Schedule 1 clause 8]**
- **The operation of loudspeakers and amplification of sound [Schedule 2 Clause 2]**

- **Loading, unloading or otherwise handling or any containers, products, materials [Schedule 2 Clause 4] and,**
- **subject to applicable Provincial Orders and Public Health Guidelines in place at that time.**

AND THAT approval be given to extend the operating hours of the outdoor accessible washroom at City Hall by 1 hour until Sunday January 30, 2022.

Carried

8. Business for Which Previous Notice Has Been Given:

None scheduled.

9. Reports of the Standing Committees:

There were no reports from the Standing Committees to be received by Council.

10. Notice of Intent:

None scheduled.

11. Reading of the By-laws:

The following By-law required First and Second Readings and Third and Final Readings:

R2022-19

Motion by Councillor Ingram

Seconded by Councillor Vassilakos

THAT By-law 5-2022 be read a First and Second Time.

Carried two-thirds support

R2022-20

Motion by Councillor Gaffney

Seconded by Councillor Henderson

THAT By-law 5-2022 be read a Third Time and Finally Passed.

Carried

11.1 Confirmatory By-law - January 10, 2022 - By-law 5-2022

To confirm the proceedings of Council of The Corporation of the City of Stratford at its meeting held on January 10, 2022.

12. Consent Agenda: CA-2022-004 to CA-2022-008

Council did not advise of any items to be considered on the Consent Agenda.

13. New Business:

There were no new business items discussed at the meeting.

14. Adjournment to Standing Committees:

The next Regular Council meeting is February 14, 2022 at 7:00 p.m., via Zoom.

R2022-21

Motion by Councillor Clifford

Seconded by Councillor Ingram

THAT the Council meeting adjourn to convene into Standing Committees as follows:

- **Social Services Committee [7:05 or thereafter following the Regular Council meeting]; and**
- **Community Services Committee [7:10 or thereafter following the Regular Council meeting];**
- **Planning and Heritage Committee [7:15 or thereafter following the Regular Council meeting]**

and to Committee of the Whole if necessary, and to reconvene into Council.

Carried

15. Council Reconvene:

15.1 Declarations of Pecuniary Interest made at Standing Committees

The Municipal Conflict of Interest Act requires any member of Council declaring a pecuniary interest and the general nature thereof, where the interest of a member of Council has not been disclosed by reason of the member's absence from the meeting, to disclose the interest at the first open meeting attended by the member of Council and otherwise comply with the Act.

Declarations of Pecuniary Interest made at Standing Committee meetings held on January 24, 2022 with respect to the following Items and re-stated at the reconvene portion of the Council meeting:

Name, Item and General Nature of Pecuniary Interest

No declarations of pecuniary interest were made by a member at the January 24, 2022, reconvene Council meeting.

15.2 Reading of the By-laws (reconvene):

The following By-law required First and Second Readings and Third and Final Readings:

Confirmatory By-law - By-law 6-2022

To confirm the proceedings of Council of The Corporation of the City of Stratford at its meeting held on January 24, 2022.

R2022-22

Motion by Councillor Ritsma

Seconded by Councillor Bunting

THAT By-law 6-2022 be read a First and Second Time.

Carried two-thirds support

R2022-23

Motion by Councillor Henderson

Seconded by Councillor Ingram

THAT By-law 6-2022 be read a Third Time and Finally Passed.

Carried

15.3 Adjournment of Council Meeting

R2022-24

Motion by Councillor Vassilakos

Seconded by Councillor Beatty

THAT the January 24, 2022 Regular Council meeting adjourn.

Carried

Meeting Start Time: 7:00 P.M.

Meeting End Time: 7:10 P.M.

Meeting Reconvene Start Time: 8:21 P.M.

Meeting Reconvene End Time: 8:22 P.M.

Mayor - Daniel B. Mathieson

Clerk - Tatiana Dafoe



MANAGEMENT REPORT

Date: February 14, 2022
To: Mayor and Council
From: Stephanie Potter, Corporate Initiatives Lead
Report#: COU22-013
Attachments: KPMG Business Process Review - Facilities Data Collection Strategy

Title: KPMG Business Process Review: Facilities Data Collection Strategy

Objective: To consider recommendations from KPMG for improving City facility data collection as part of the City's Service Delivery Review implementation process.

Background: In 2020, the City undertook a corporate-wide [Service Delivery Review](#). Three aspects of city facilities were reviewed: cost, maintenance, and utilization. However, the City did not have sufficient data to support recommendations for cost savings and service improvements, as we are not currently tracking the data needed to identify and improve efficiency in the maintenance and operation of our municipal facilities. The Service Delivery Review recommended that the City identify a system for tracking facility costs; facility and program utilization and capacity; and facility maintenance costs through a work order management system.

To initiate this data collection process, City staff required assistance from a third-party consultant. Through a Request for Proposals (RFP) process, the City retained KPMG to draft a comprehensive facility data collection strategy for City facilities. The completed strategy is attached for Council's consideration.

This report is being presented directly to Council to meet project completion timelines set by the Ministry of Municipal Affairs and Housing, who provided funding for the strategy through the Municipal Modernization Program, Intake 2, Review Stream.

Analysis: KPMG worked with City staff throughout November and December 2021 to conduct a through review of current facility data collection processes. The attached facility data collection strategy includes 16 specific and actionable recommendations that have been reviewed by the CAO, Director of Community Services, Director of Corporate Services, Manager of Community Facilities, Chief Building Official, and Corporate Initiatives Lead.

The data collected as a result of implementing these recommendations will be used to inform future service delivery recommendations that will identify efficiencies and cost savings. Following one year of facility data collection, the City expects to be able to support a business case for improved efficiencies in facility cost, maintenance, and utilization.

Financial Implications:

Financial impact to current year operating budget:

The City received an \$80,000 grant from the Ministry of Municipal Affairs and Housing (MMAH) Municipal Modernization Program, Intake 2 (MMP2) to cover the full cost of this review, so there is no net cost to the City.

Software licencing fees may be incurred for increasing staff access to various programs needed to document usage and expenses. Costs have not yet been determined and will be reported at a future meeting, but could be \$1,000-\$5,000 annually.

Financial impact on future year operating budget:

The attached strategy recommends the creation of a new FTE facilities supervisor to manage facility data collection and utilization reporting for all municipal facilities. This recommendation will be reviewed and brought forward for consideration once a comprehensive implementation plan has been prepared by staff. Preliminary cost for salary and benefits is estimated at \$95,000-\$115,000 annually.

Software licencing fees will be incurred annually and are expected to be between \$1,000 and \$5,000 per licence.

Link to asset management plan and strategy:

Increased oversight of facility cost, maintenance, and utilization will support corporate asset management and will inform recommendations on asset use, retention, or disposal.

Alignment with Strategic Priorities:

Strengthening our Plans, Strategies and Partnerships

Partnering with the community to make plans for our collective priorities in arts, culture, heritage and more. Communicating clearly with the public around our plans and activities.

Developing our Resources

Optimizing Stratford's physical assets and digital resources. Planning a sustainable future for Stratford's resources and environment.

Alignment with One Planet Principles:

Health and Happiness

Encouraging active, social, meaningful lives to promote good health and wellbeing.

Equity and Local Economy

Creating safe, equitable places to live and work which support local prosperity and international fair trade.

Culture and Community

Nurturing local identity and heritage, empowering communities and promoting a culture of sustainable living.

Staff Recommendation: THAT Council approves the Business Process Review: Facilities Data Collection Strategy by KPMG;

THAT the Business Process Review: Facilities Data Collection Strategy be referred to the Corporate Leadership Team to review and implement;

AND THAT any Facilities Business Process Review recommendations with unfunded budget implications be brought to Council for consideration prior to implementation.

Prepared by:	Stephanie Potter, Corporate Initiatives Lead
Recommended by:	David St. Louis, Director of Community Services
	Joan Thomson, Chief Administrative Officer



City of Stratford Business Process Review: Facilities Data Collection Strategy

Final Report

January 14, 2022



Disclaimer

This final report has been prepared by KPMG LLP (“KPMG” or “our”) for the City of Stratford (“Client”) pursuant to the terms of our Agreement with the Client dated 3 November 2021. KPMG neither warrants nor represents that the information contained in this report is accurate, complete, sufficient or appropriate for use by any person or entity other than Client or for any purpose other than set out in the Engagement Agreement. This report may not be relied upon by any person or entity other than Client, and KPMG hereby expressly disclaims any and all responsibility or liability to any person or entity other than Client in connection with their use of this report.

This report is based on information and documentation that was made available to KPMG at the date of this report. KPMG has not audited nor otherwise attempted to independently verify the information provided unless otherwise indicated. Should additional information be provided to KPMG after the issuance of this report, KPMG reserves the right (but will be under no obligation) to review this information and adjust its comments accordingly.

Pursuant to the terms of our engagement, it is understood and agreed that all decisions in connection with the implementation of advice and recommendations as provided by KPMG during the course of this engagement shall be the responsibility of, and made by, the City of Stratford. KPMG has not and will not perform management functions or make management decisions for the City of Stratford.

This report may include or make reference to future oriented financial information. Readers are cautioned that since these financial projections are based on assumptions regarding future events, actual results will vary from the information presented even if the hypotheses occur, and the variations may be material.

Comments in this report are not intended, nor should they be interpreted, to be legal advice or opinion.

KPMG has no present or contemplated interest in the City of Stratford nor are we an insider or associate of the City of Stratford. Accordingly, we believe we are independent of the City of Stratford and are acting objectively.

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Project Overview

City of Stratford

Business Process Review

Final Report

Executive Summary

This executive summary highlights the work KPMG was engaged to perform including key activities, deliverables and recommendations

Executive Summary

KPMG was engaged by the City of Stratford to perform a business process review covering fourteen (14) City facilities and to create a data collection strategy to enhance the collection, reporting and analysis of three (3) key metrics including:

1. Maintenance and capital costs
2. Internal and external work orders
3. Utilization

This project was conducted in light of the City's Service Delivery Review (2020) which noted that these metrics were not supported with sufficient data.

As part of this work, KPMG held ten (10) interviews and two (2) focus groups with City staff. KPMG also analyzed documentation to understand the existing process to track these metrics including systems, process owners, data structure and system reports.

Based on this analysis, KPMG created a data collection strategy including sixteen (16) observations and recommendations to enhance the collection, reporting and analysis of facility data. KPMG noted that the City does have systems in-place that are currently tracking facility data; however, further system configurations are required to improve its accuracy, completeness and relevance.

The most notable recommendations in this report include include:

1. Consider centralizing facility maintenance, custodial work and capital planning in one department – with an additional FTE (Supervisor) responsible for the portfolio of all facilities
2. Use the Citywide PSD software to track internal and external work orders by purchasing a new module to enable this functionality

KPMG developed a high-level implementation plan to support the data collection strategy. The plan highlights anticipated timelines and assigns responsibilities to City staff for implementation.

Finally, KPMG created a tool in Microsoft Excel to track these (3) metrics until the City has implemented the data collection strategy. The tool is configured using reports from the City's existing software and can be used to track and analyze facility metrics for the year 2022.

Summary of Findings

The sixteen (16) observations and data collection strategy recommendations presented in the preceding pages are summarized below by metric (KPI), software and the departments that would likely be responsible for implementation. KPMG noted that the City does have systems in-place that are currently tracking these data points; however, further system configurations are required to improve data accuracy, completeness and relevance.

Metric	Software	Primary Owner	Summary of Recommendations	Ref. #s
Work Orders	Citywide PSD	Community Services/ Infrastructure and Development Services	<ul style="list-style-type: none"> Extend the internal work order tracking process across all departments until a software solution is adopted (short-term) Implementation of a module within Citywide PSD to manage internal and external work orders (long-term) 	2,3,4
Facility Maintenance & Capital Expenditures	Microsoft Dynamics GP	Corporate Services	<ul style="list-style-type: none"> Grant managers access to the Management Reporter tool to analyze spend versus budget Perform software configurations to improve the quality, accuracy and categorization of financial data 	5,6,7,8
Utilization	PerfectMind	Community Services	<ul style="list-style-type: none"> Perform software configurations to improve the quality, accuracy and categorization of utilization data Group and compare utilization metrics for rooms and programs according to the existing groupings used for budgeting purposes 	9-14

Observation & Data Collection Strategy

Summary of Findings

The sixteen (16) observations and data collection strategy recommendations presented in the preceding pages are summarized below by metric (KPI), software and the departments that would likely be responsible for implementation. Contrary to observations made in the City's Service Delivery Review – that the City is not tracking maintenance costs, utilization and work order data – KPMG noted that the City does in fact have systems in-place that are currently tracking these data points; however, further system configurations are required to improve data accuracy, completeness and relevance.

Metric	Software	Primary Owner	Summary of Recommendations	Ref. #s
Governance	N/A	Corporate Initiatives CAO	<ul style="list-style-type: none"> Consider the appropriate staff member to own and oversee the KPMG reporting tool including populating it with updated data (short-term) Centralize facility maintenance, custodial work and capital planning in one department – with one Director responsible for the portfolio of all facilities (long-term) 	1,15
Service Delivery	Citywide PSD, Microsoft Dynamics GP & PerfectMind	Corporate Initiatives CAO	<ul style="list-style-type: none"> Consider the disposition of under-utilized and less functional facilities using KPMG's interim reporting tool or system reports after implementing the data collection strategy recommendations contained within this report. 	16

Project Overview

Project Objectives

KPMG was engaged by the City of Stratford (the “City”) to perform a business process review, identify strengths, weaknesses, opportunities and challenges and generate actionable recommendations for data collection that can be integrated into daily staff responsibilities. The data collected for this process will be used to inform future service delivery recommendations that will improve efficiencies and produce cost savings. KPMG will also develop a data strategy reflecting the optimal approach for data collection with current resources and identify whether further human resources or technology is required.

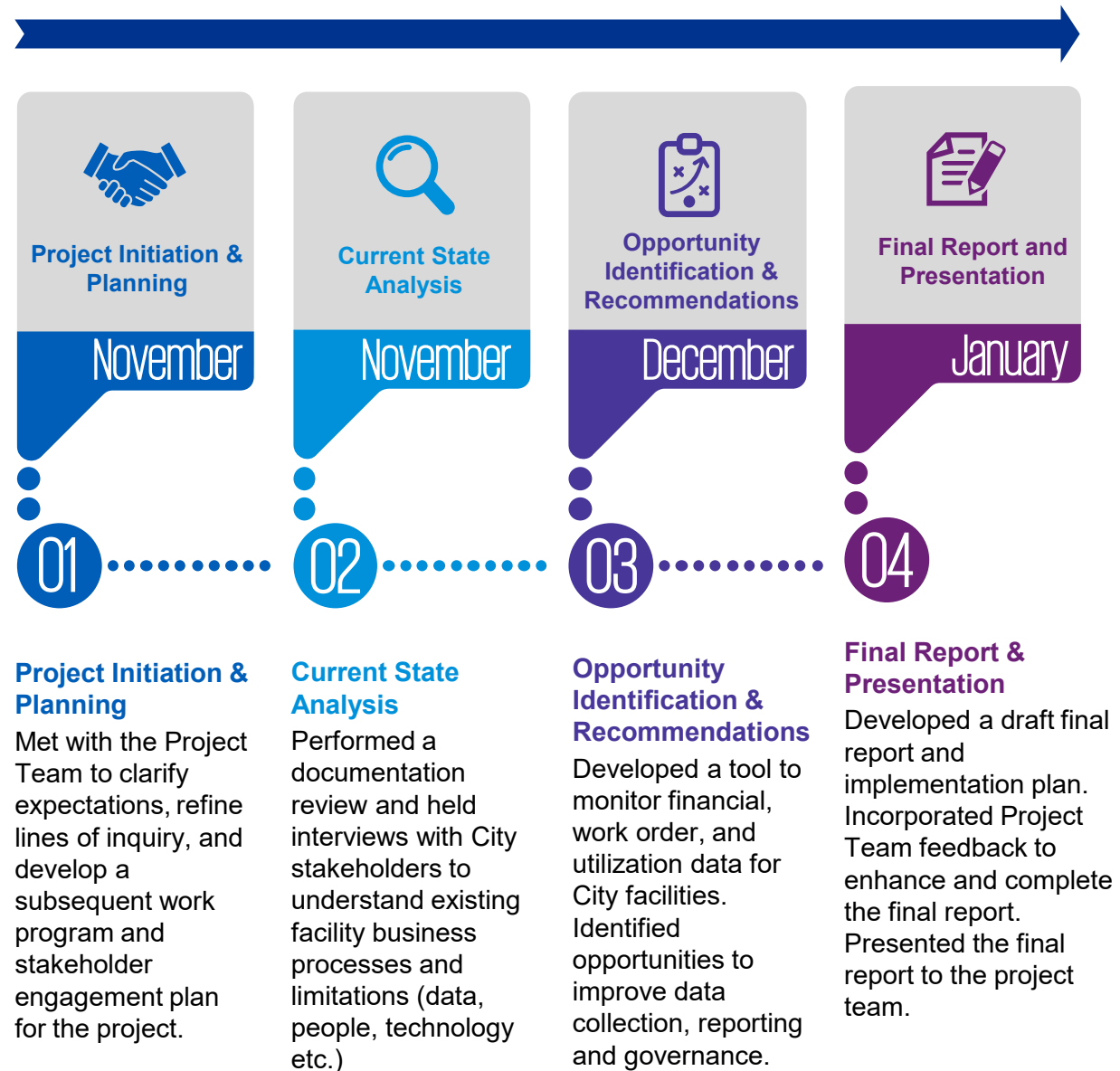
Project Principles

KPMG conducted all phases of the project with the following principles in mind:

- a) The knowledge and expertise of City staff was fully engaged and built upon, to arrive at recommended actions through a transparent, participative and inclusive process facilitated by KPMG.
- b) The review was conducted in a way that engaged City employees.
- c) The aim was to, wherever possible, transfer knowledge and necessary “tools” to City staff to enable them to better develop their own solutions to operational and process issues and challenges over time.
- d) The framework and approach was based on leading practices from other municipalities, or other levels of government experience and/or private sector.

Project Work Plan

The project began on November 4, 2021 and was completed with submission of the final report to the City Council in February 2022.





Summary of Stakeholder Consultations

City of Stratford
Business Process Review
Final Report

The Engagement Process

As part of the project, senior leadership, managers and staff were interviewed to obtain an understanding of existing business processes, systems and data sources related to facility data collection, analysis and reporting. The interviewees also identified challenges and opportunities for financial and operational efficiencies.

KPMG held ten (10) one-on-one discussions with the following individuals as well as two (2) focus groups as selected by the City of Stratford:

One-On-One Interviews

- | | |
|--|---|
| <ol style="list-style-type: none"> 1. Office of the CAO 2. Director of Community Services 3. Director of Infrastructure and Development Services 4. Director of Corporate Services | <ol style="list-style-type: none"> 5. Manager of Community Facilities 6. Supervisor of Facility Maintenance 7. Chief Building Official 8. Manager of Recreation and Marketing 9. Manager of Parks, Forestry, and Cemetery 10. Maintenance Staff |
|--|---|

Focus Groups

- | | |
|---|--|
| <ol style="list-style-type: none"> 11. Group 1: <ol style="list-style-type: none"> a) Manager of Public Works; Manager of Transit; and the Supervisor of Fleet | <ol style="list-style-type: none"> 12. Group 2: <ol style="list-style-type: none"> a) Administrative Assistant to Director of Community Services; Clerk Secretary for Recreation Facilities; and the Clerk Secretary for Recreation Programming |
|---|--|

Summary of Themes from Consultations

Key themes emerged from the interviews and focus group discussions which are summarized below.



People

- Multiple departments are responsible for facility maintenance and capital improvements (decentralized model), namely, Community Services, Transit and Infrastructure and Development Services
- Each department has its own custodial staff responsible for the dedicated facilities.
- External contractors are typically used for HVAC, plumbing, carpentry, electrical and other maintenance
- There is a lack of staffing resources for asset management planning (AMP); however, a new AMP Coordinator position was recently approved to support this activity
- Additional resources are required for maintenance and capital improvements to the facilities if the City is to meet its 10 year capital plan



Technology

- PerfectMind software is used to track utilization data for various community & recreational programs; however, access to the software is limited; system data is seldom analyzed; and more system configuration is required to fully take advantage of the software
- Facility maintenance and capital costs are tracked within the City's finance software, Microsoft Dynamics GP
- Not all staff are aware of or have access to Management Reporter, a software used to track facility maintenance and capital costs (spend)
- The internal work order tracking system is not automated but manual in nature (paper-based); and there is currently no software to track external work orders. Moreover, the process has only been implemented for community services facilities, not the administrative or transit facilities



Service Delivery Model

- Staff noted that facility maintenance and capital expenditures for the facilities have been under-funded historically
- Front-line staff and managers noted they are responsible for facility maintenance and capital improvements and do not necessarily have the experience or the expertise to manage these responsibilities
- Building condition assessments have not consistently been performed for the City's facilities
- Staff noted the Discovery Centre was acquired from the Province for it to be preserved; however, the facility is currently leased for minimal revenues compared to the cost of maintenance and capital
- The City has an asset management plan; however, staff noted the City does not have well-established processes and technology to support asset management activities in general



Observations & Data Collection Strategy

City of Stratford
Business Process Review
Final Report

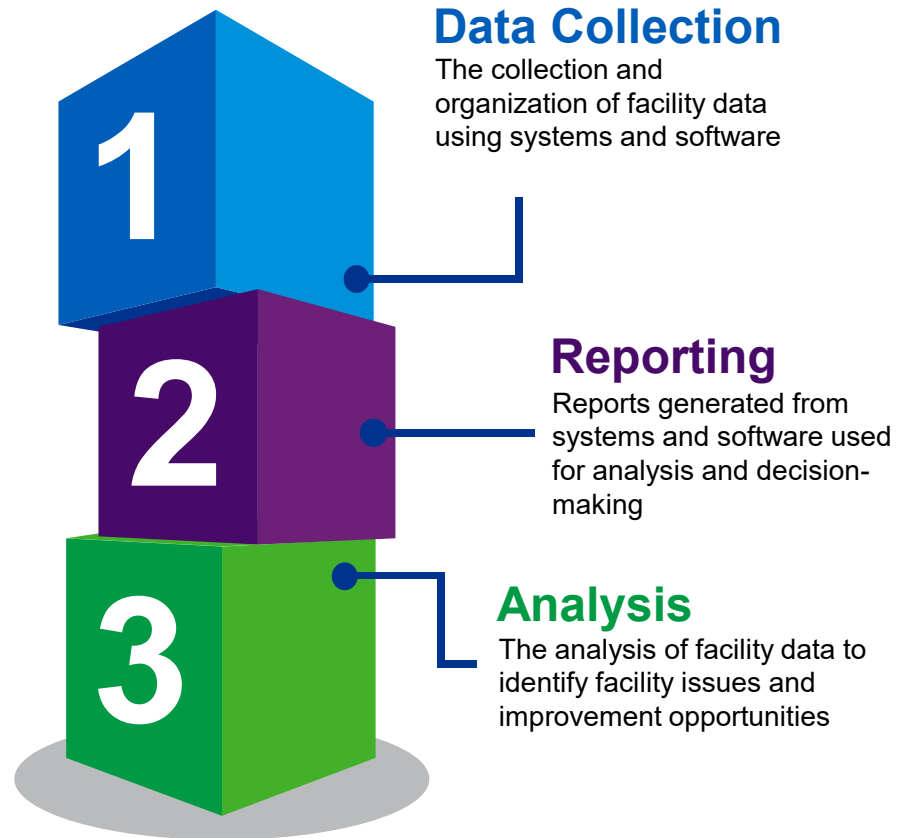
Review of Facility Business Processes

In 2020, the City of Stratford undertook a corporate-wide Service Delivery Review (SDR). The review noted that the City was not tracking maintenance costs, work orders and utilization data for its facilities, and therefore, did not have sufficient data to support efficiencies and cost savings in the maintenance and operation of its facilities.

To better understand these issues and develop a data collection strategy for the City, KPMG analyzed the City's business processes including (1) facility data collection, (2) reporting, and (3) analysis. KPMG conducted interviews with staff and analyzed City documentation to identify:

- a) Existing processes to collect facility maintenance costs, utilization data and work orders
- b) The suitability and capabilities of existing systems and software to track and report facility data
- c) Staff that interact with this software
- d) The structure and types of data currently stored within the software including its accuracy, completeness and relevance; and
- e) The types of reports that can be generated from existing software including key performance indicators (KPIs)

Business Processes Analyzed for the City's Facilities



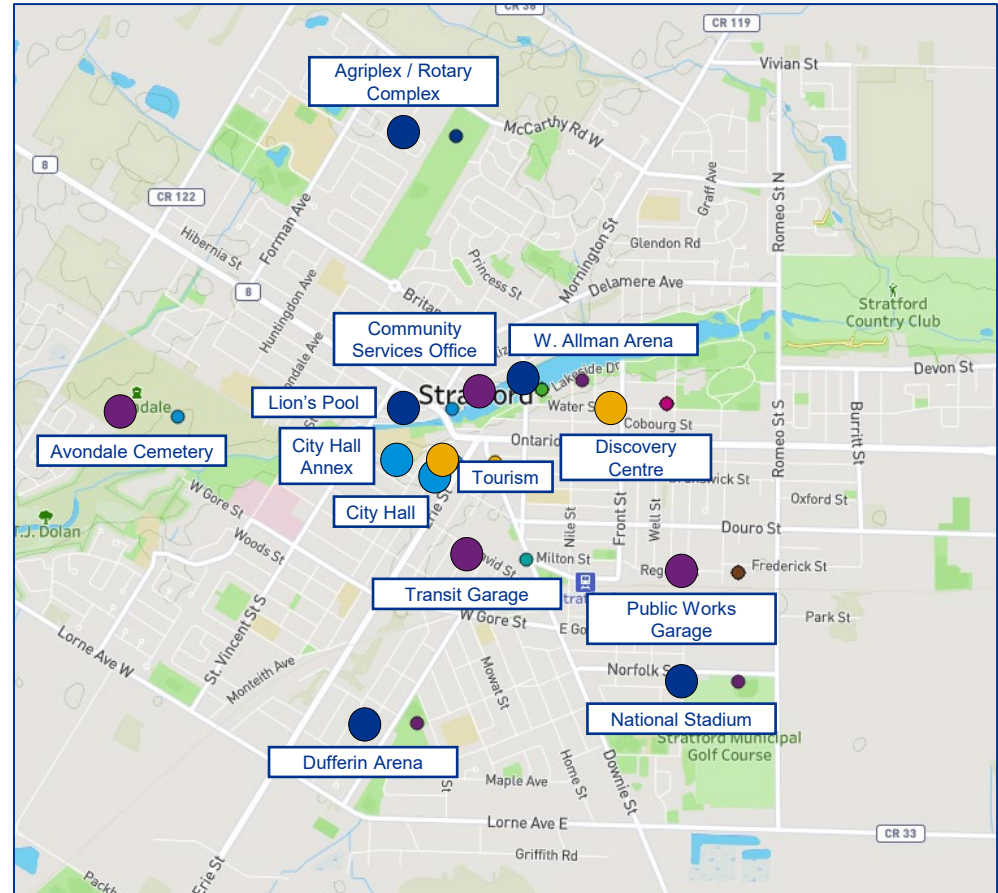
In-Scope Facilities

KPMG analyzed these business processes covering fourteen (14) in-scope facilities as selected by staff at the City of Stratford. The City has other facilities within its municipal portfolio; however, the in-scope facilities were selected as a representative sample and vary by geography, size, age, usage and department.

Legend

Building Type		In Scope Buildings
●	Recreation	Agriplex Rotary Complex Lion's Pool National Stadium Dufferin Arena William Allman Arena
●	Administrative	City Hall City Hall Annex Building
●	Storage	Avondale Cemetery Community Services Transit Garage Public Works Garage & Offices
●	Rental	Discovery Centre Tourism Building

In-Scope Facilities at the City of Stratford



City Systems

The city uses five (5) systems to record, report and analyze facility data which KPMG identified through staff interviews. Each system is identified in the table below including its purpose, facility metrics and access rights.

System	Purpose	Facility Metrics	System Access Rights
Microsoft Dynamics GP	The purpose of Microsoft Dynamics GP is to capture all of the city's financial data including revenues, expenses, assets, liabilities and equity. This system is the city's core financial system.	<ul style="list-style-type: none"> • Maintenance costs and capital costs • Number of vendor invoices for external work orders and capital works 	Finance
Management Reporter	This tool enables City Managers and Directors to compare budget to actuals.	<ul style="list-style-type: none"> • Maintenance costs and capital costs 	All departments
PerfectMind	The PerfectMind software is used to book City rooms, ice and other spaces for public use.	<ul style="list-style-type: none"> • Utilization by program and room • Hours available • Hours utilized • Number of registrations, etc. 	Community Services
Pearl	The Pearl software is used to track internal work orders, jobs and their associated costs. The software is currently used by the Public Works department only.	<ul style="list-style-type: none"> • Number of internal work orders/jobs • Cost of internal work orders/jobs including allocations of salaries and benefits, materials etc. 	Public Works
Citywide PSD	This software is used to house an inventory of all city assets including facilities, infrastructure, land and other large capital assets.	<ul style="list-style-type: none"> • Inventory of city assets 	Infrastructure and Development Services

Implementation Plan - Interim Reporting

Functional Process & Workflows

As part of the project, KPMG developed a tool in Microsoft Excel to capture and report maintenance costs, work orders and utilization data. City staff can use the tool to analyze their facilities, make operational decisions, find cost savings and perform business case analysis. The tool combines data from various City systems including Microsoft Dynamics Great Plains, PerfectMind and the internal work order registry. Refer to Appendix A for the business process flow chart used to populate this tool with City data.

It is important to note that this tool should only be used temporarily until the City implements all data collection strategy recommendations. This tool, while useful, requires manual labour to populate and does not realize sustainable efficiencies unlike technologies that are available to the City. KPMG recommends that a staff member from each department should own and populate the tool with facility data from 2022.

The recommendations within this report will leverage existing and new software to capture, analyze and report facility maintenance/capital costs, work orders and utilization data – thereby enabling digital transformation for the City of Stratford now and into the future.

Interim Facility Reporting Tool in MS Excel

City of Stratford
Business Process Review
PRIVATE & CONFIDENTIAL - NOT FOR DISTRIBUTION

Maintenance & Capital Costs															
	Appleton	Aurora Cemetery	City Hall	City Hall Annex Building	Community Services Building	Dufferin Avenue	Levin's Pool	National Stadium	Normal School	Public Works Garage/Office	Rear Complex	Town Hall	Transit Garage	William Allan Arena	Total
Capital Expenses	\$ -	\$ -	\$ -	\$ 447,701	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,634	\$ -	\$ -	\$ 10,537	\$ -	\$ 704,503
Operating Expenses	\$ 383,193	\$ 21,531	\$ 84,900	\$ 52,107	\$ 8,663	\$ 75,520	\$ 13,366	\$ 1,947	\$ -	\$ 22,761	\$ 247,203	\$ 144,937	\$ 30,271	\$ 142,480	\$ 1,236,083
Total Expenses	\$ 383,193	\$ 21,531	\$ 84,900	\$ 499,808	\$ 8,663	\$ 75,520	\$ 13,366	\$ 1,947	\$ 6,634	\$ 22,761	\$ 247,203	\$ 255,120	\$ 30,271	\$ 253,078	\$ 1,339,234

Salaries and wages are not currently reflected in the figures above.
These figures (2022) are preliminary and should not be deemed final until an appropriate review has been performed.
Breakdown of hours and materials not currently available within the financial database.

Work Orders															
	Appleton	Aurora Cemetery	City Hall	City Hall Annex Building	Community Services Building	Dufferin Avenue	Levin's Pool	National Stadium	Normal School	Public Works Garage/Office	Rear Complex	Town Hall	Transit Garage	William Allan Arena	Total
# of Internal Work Orders	1	1	-	-	-	3	6	2	-	-	3	1	-	5	22
# of Internal Work Order Hours	-	2	-	-	-	5	13	1	-	-	3	2	-	6	38
# of External Work Orders	75	2	-	-	2	34	11	-	-	-	59	-	9	61	253
Internal Work Order Salary Allocation	\$ -	\$ 85	\$ -	\$ -	\$ -	\$ 211	\$ 590	\$ 42	\$ -	\$ -	\$ 137	\$ 85	\$ -	\$ 294	\$ 1,364

City of Stratford internal work order data for Community Services facilities, does not include work order data for the Appleton facilities as there is no process to collect that data for them.
These figures are preliminary and should not be deemed final until an appropriate review has been performed.

Utilization							
	Appleton	Dufferin Avenue	Levin's Pool	National Stadium	Rear Complex	William Allan Arena	Total
Hours Utilized*	18,524	2	564	682	5,436	365	25,572
Hours Available*	123,006	1,502	-	1,320	83,746	7,856	217,440
Utilization	15%	0%	0%	52%	16%	5%	16%

*Hours utilized encompasses all rooms; hours available = hours available per room x the number of rooms.
Data quality issues noted for items highlighted in red.
These figures (2022) are preliminary and should not be deemed final until an appropriate review has been performed.
Room rentals separate from line from pool.
Add locations including the number and names of rooms included above.

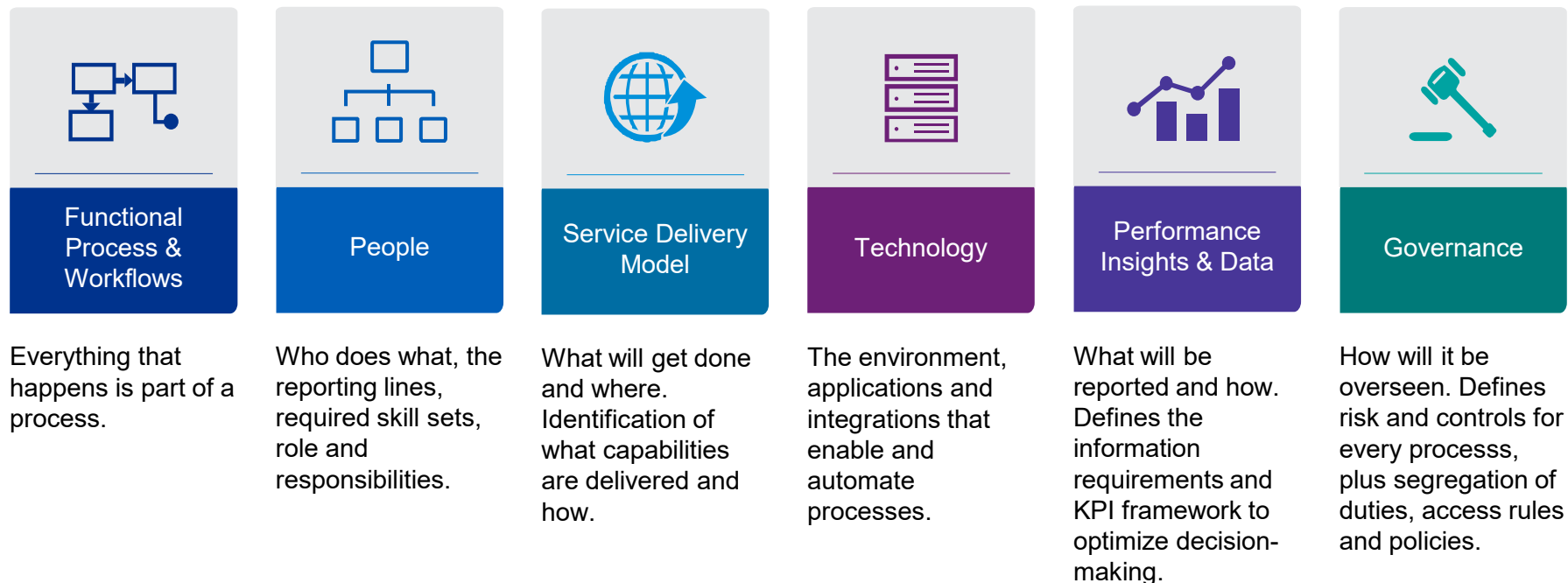
Software to Replace the Interim Reporting Tool after 2022

Software	Metrics
Microsoft Dynamics & Management Reporter	Maintenance and capital costs
CityWide PSD Module	Work orders
PerfectMind	Utilization

Observation & Data Collection Strategy

Data Collection Strategy

KPMG developed a data collection strategy after analyzing the City's business processes spanning the fourteen (14) in-scope facilities. The data collection strategy comprises the key recommendations required to collect, report and analyze facility data and includes the following six (6) dimensions:



KPMG's observations from the business process analysis and corresponding data collection strategy recommendations are presented in the following slides. →

Functional Process & Workflows

KPMG's observations from the business process analysis and their corresponding data strategy recommendations are presented below using the six (6) dimensions. These recommendations will enable the City of Stratford to realize facility management efficiencies and cost savings.

Strategy Dimension	#	Business Process Observations	Data Collection Strategy - Recommendations	Owner
People and Governance	1	<p>Observation: The City uses a decentralized staffing model to manage maintenance and capital for its facilities. Each department is currently responsible for its own portfolio of buildings, e.g. Community Services, Public Works and Transit etc. We understand that the departments do consult with the Chief Building Official when they plan major capital improvements (10 year needs) for their respective facilities.</p>	<p>Recommendation: Consider centralizing facility maintenance, custodial work and capital planning within a single department – with an additional FTE (Supervisor) responsible for the portfolio of all facilities. This position would be responsible for the overall data strategy including data requirements, reporting facility utilization, KPMG's tracking tool and other reporting to Management as required, along with determining the reporting frequency.</p> <p>KPMG recommends that a staff member from each department (Community Services and Infrastructure and Development Services) should own and populate the tool with facility data from 2022; at least until a new position is approved. The tool should be completed based on a prescribed frequency (for example monthly) and forwarded to Corporate Initiatives for consolidation and reporting.</p> <p>Rationale: Using a centralized model will enable consistency in the maintenance and capital improvement of all facilities; will leverage expertise of qualified building staff; and free up staffing resources within the Community Services, Administration, Public Works and Transit departments.</p>	<p>CAO + Corporate Initiatives</p> <p>Community Services + Infrastructure and Development Services</p>

Functional Process & Workflows

KPMG's observations from the business process analysis and their corresponding data strategy recommendations are presented below using the six (6) dimensions. These recommendations will enable the City of Stratford to realize facility management efficiencies and cost savings.

Strategy Dimension	#	Business Process Observations	Data Collection Strategy - Recommendations	Owner
Functional Process & Workflows	2	Observation: The Community Services department developed an internal work order tracking process in April 2021. The process is functional and paper-based. However, the process is not in-place within the other departments that also manage facilities, e.g. Administration, Transit etc.	Recommendation: Extend the internal work order tracking process across all departments until a software solution is adopted to manage this task. The Public Works department may not require this process as it currently uses Pearl software to manage internal work orders. Rationale: Extending this process across all departments will allow the City to track internal work order data for the entire facility portfolio during the interim period until a software solution is adopted for work orders.	Community Services + Infrastructure and Development Services

Functional Process & Workflows

KPMG's observations from the business process analysis and their corresponding data strategy recommendations are presented below using the six (6) dimensions. These recommendations will enable the City of Stratford to realize facility management efficiencies and cost savings.

Strategy Dimension	#	Business Process Observations	Data Collection Strategy - Recommendations	Owner
Functional Process & Workflows and Technology	3	<p>Observation: The internal work order system described in #2 is functional but paper-based, and therefore, cannot be used to generate system reports for management. The process is also disconnected from the City's asset management plan: staff cannot ascertain the impact of facility work orders upon the condition and lifespan of its assets using this process. The condition and lifespan of assets must be reported under O. Reg 588/17.</p> <p>Observation: The City has an asset management plan; however, staff noted the City does not have well-established processes and technology to support asset management activities e.g. creating yearly maintenance plans for all assets, tracking the declining condition of high-risk assets etc.</p>	<p>Recommendation: Use Citywide PSD software to track internal (and external) work orders. A new software module must be purchased to enable this functionality, requiring approximately one month for installation.</p> <p>We understand that there is an annual subscription fee for the service; and unlimited users can be added with no additional fee. Currently all buildings and assets are in CityWide Asset Manager module. The Recreation facilities will need to be added to the Work Order portion of the module purchased.</p> <p>Rationale: A software solution will ensure consistency in the tracking of work orders across the City and provide reporting capabilities for staff. The Citywide PSD module, in particular, will also enhance the City's asset management planning activities, e.g. by creating maintenance plans and tracking work orders against them.</p>	Community Services + Infrastructure and Development Services

Functional Process & Workflows

KPMG's observations from the business process analysis and their corresponding data strategy recommendations are presented below using the six (6) dimensions. These recommendations will enable the City of Stratford to realize facility management efficiencies and cost savings.

Strategy Dimension	#	Business Process Observations	Data Collection Strategy - Recommendations	Owner
Performance Insights & Data and Technology	4	Observation: For external work orders, the cost of labour hours and materials is not readily available. Currently, management must retrieve and review invoices to gather this data.	<p>Recommendation: Refer to recommendation #3. In addition, consider splitting vendor invoices between labour and materials in Microsoft Dynamics.</p> <p>Rationale: The recommendations will allow for simple tracking and reporting of work order data including the breakdown of labour hours and materials.</p>	Community Services + Infrastructure and Development Services
Performance Insights & Data and Technology	5	Observation: Many staff noted they do not have access to financial data (expenditures) on maintenance and capital; however, we understand this data is available from the Management Reporter tool based upon comments from staff interviews.	<p>Recommendation: Inform and provide necessary training to staff on the Management Reporter tool and its location on the City's server. Install software on staff computers and grant them access if required.</p> <p>Rationale: Managers and staff will be able to analyze facility maintenance and capital expenses (among others) and compare actual spend versus their budgets.</p>	Corporate Services

Functional Process & Workflows

KPMG's observations from the business process analysis and their corresponding data strategy recommendations are presented below using the six (6) dimensions. These recommendations will enable the City of Stratford to realize facility management efficiencies and cost savings.

Strategy Dimension	#	Business Process Observations	Data Collection Strategy - Recommendations	Owner
Performance Insights & Data and Technology	6	Observation: Staff would like to analyze maintenance expenses by sub-category; however, the Microsoft Dynamics GP software only tracks expenses by category. For example, staff cannot distinguish between electrical, HVAC and carpentry expenses – all of which are generally categorized as 'Building Maintenance' or 'Contractors'.	Recommendation: Create a new data field in Microsoft Dynamics GP which captures the sub-category. A list of common, standardized sub-categories must be created and shared between finance staff and managers that approve invoices. Rationale: This recommendation will enable staff to perform deeper analysis on expenditures (by sub-category) leading to potential cost-savings and efficiencies.	Corporate Services
People and Service Delivery Model	7	Observation: The City uses contractors for electrical, plumbing and carpentry services. Stakeholders generally believed in-sourcing one (1) or more of these positions would be more cost-effective than outsourcing. Further analysis is required to make a determination.	Recommendation: Perform a cost-benefit analysis to compare insourcing and outsourcing of these positions after the implementation of recommendation #6. Rationale: The City may be able to realize cost savings by insourcing some or all of these positions.	Corporate Services

Functional Process & Workflows

KPMG's observations from the business process analysis and their corresponding data strategy recommendations are presented below using the six (6) dimensions. These recommendations will enable the City of Stratford to realize facility management efficiencies and cost savings.

Strategy Dimension	#	Business Process Observations	Data Collection Strategy - Recommendations	Owner
Performance Insights & Data and Technology	8	<p>Observation: Based on feedback from staff, maintenance and capital expenses are overstated and understated for some facilities in the Microsoft Dynamics GP software. This issue arises when the expense is allocated to one (1) facility when, in fact, it should be allocated to two (2) or more facilities based upon the vendor's invoice. In this scenario, a vendor would have provided service at two (2) or more facilities but only issued one (1) invoice – which would then be allocated to one (1) facility only to reduce processing times.</p>	<p>Recommendation: Consider splitting expenses between facilities when they meet a materiality threshold, for example, \$1,000.</p> <p>Rationale: The use of a materiality threshold will help to improve the accuracy of financial data without significantly increasing invoice processing times for finance staff. Finance staff already process a large volume of invoices daily.</p>	Corporate Services
Performance Insights & Data and Technology	9	<p>Observation: Utilization metrics¹ (%) are available by facility, room and by program from the PerfectMind software. Staff would like to further analyze this data between prime time hours versus non-prime time hours; however, the system is currently not configured to make this analysis.</p> <p>Note¹: utilization is currently calculated as follows:</p> <p><i>Utilization = hours utilized ÷ available hours</i></p>	<p>Recommendation: Distinguish and add available hours and hours utilized for (a) prime time and (b) non-prime time hours within the PerfectMind software. Moreover, customize a report within the software to calculate two (2) utilization metrics for each facility as a whole: prime time utilization; and non-prime time utilization.</p> <p>Rationale: This report will allow management to find cost savings, efficiencies and other uses for spaces that are less productive/utilized.</p>	Community Services

Functional Process & Workflows

KPMG's observations from the business process analysis and their corresponding data strategy recommendations are presented below using the six (6) dimensions. These recommendations will enable the City of Stratford to realize facility management efficiencies and cost savings.

Strategy Dimension	#	Business Process Observations	Data Collection Strategy - Recommendations	Owner
Performance Insights & Data and Technology	10	Observation: Utilization metrics ¹ (%) from the PerfectMind software appear to be understated for some rooms and programs. KPMG noted discrepancies between the available hours in the software and available hours according to conversations with staff and reasonability checks. For example, the available hours for some rooms in the software exceeds 5,600 hours. This entails that some rooms are available for more than 15 hours per day, 7 days per week – which is not the case.	Recommendation: Review the available hours for all rooms and programs to ensure their accuracy. Edit these values where necessary to reflect actual operating hours. Rationale: These revisions will lead to more accurate calculations of utilization per facility.	Community Services
Performance Insights & Data and Technology	11	Observation: The PerfectMind software does not contain accurate head count data for events and programs based upon notes from staff interviews.	Recommendation: Consider adding an estimate or average head count for the event during the booking process. Rationale: This recommendation will enable staff to analyze head count data (foot traffic) by facility with a greater degree of accuracy.	Community Services

Functional Process & Workflows

KPMG's observations from the business process analysis and their corresponding data strategy recommendations are presented below using the six (6) dimensions. These recommendations will enable the City of Stratford to realize facility management efficiencies and cost savings.

Strategy Dimension	#	Business Process Observations	Data Collection Strategy - Recommendations	Owner
Performance Insights & Data and Technology	12	Observation: Staff would like to analyze demographics data for public-facing facilities; however, the PerfectMind software is not currently configured to perform this analysis.	Recommendation: Explore the capabilities of the PerfectMind software and add demographics data fields for registrations and bookings if possible. Rationale: Staff will be able to analyze demographics data across all public-facing facilities and improve service delivery based upon usage by various community groups.	Community Services
Performance Insights & Data and Technology	13	Observation: Not all multi-use fields are currently captured in the PerfectMind software, and therefore, utilization metrics are not available for these fields.	Recommendation: Add all multi-use fields to the software along with available hours. Rationale: Staff can begin tracking and analyzing utilization for these fields by implementing this recommendation.	Community Services

Functional Process & Workflows

KPMG's observations from the business process analysis and their corresponding data strategy recommendations are presented below using the six (6) dimensions. These recommendations will enable the City of Stratford to realize facility management efficiencies and cost savings.

Strategy Dimension	#	Business Process Observations	Data Collection Strategy - Recommendations	Owner
Performance Insights & Data and Technology	14	Observation: Utilization metrics for programs and rooms are not compared in a meaningful way. For example, utilization metrics for rooms are currently compared with utilization metrics for pools and rinks.	Recommendation: Group and compare utilization metrics for rooms and programs according to the existing groupings used for budgeting purposes: <ol style="list-style-type: none"> 1. Community Halls 2. Fieldhouses (Gyms) 3. Ice Rentals 4. Meeting Rooms 5. Pools Rationale: This grouping will enable management to compare utilization metrics in a meaningful way that aligns with the budgeting process.	Community Services

Functional Process & Workflows

KPMG's observations from the business process analysis and their corresponding data strategy recommendations are presented below using the six (6) dimensions. These recommendations will enable the City of Stratford to realize facility management efficiencies and cost savings.

Strategy Dimension	#	Business Process Observations	Data Collection Strategy - Recommendations	Owner
People and Governance	15	<p>Observation: Based upon stakeholder interviews, staff consistently noted a lack of staffing resources in order to analyze facility data for improved decision-making.</p> <p>A staff member from each department will need to own and oversee the interim reporting tool in MS Excel developed by KPMG and populate it with 2022 data for a successful implementation at the City.</p>	<p>Recommendation: Same as recommendation #1 above. The new position will be responsible for owning and overseeing the reporting tool including populating it with updated data.</p> <p>Rationale: Staff will have additional time to analyze facility data using a centralized staffing model.</p> <p>The tool will enable staff to analyze financial, work order and utilization data in the interim period until all recommended software configurations are in-place. Assigning staff to own and populate the tool with data will increase the likelihood of its implementation and use at the City of Stratford.</p>	CAO + Corporate Initiatives

Functional Process & Workflows

KPMG's observations from the business process analysis and their corresponding data strategy recommendations are presented below using the six (6) dimensions. These recommendations will enable the City of Stratford to realize facility management efficiencies and cost savings.

Strategy Dimension	#	Business Process Observations	Data Collection Strategy - Recommendations	Owner
Service Delivery Model	16	Observation: Staff noted that historically there has been insufficient funding for capital improvements and the maintenance of facilities within the City's portfolio.	Recommendation: Consider the disposition of under-utilized and less functional facilities using KPMG's interim reporting tool or system reports after implementing the data collection strategy recommendations contained within this report. Rationale: Consolidating the City's facility portfolio will significantly improve the maintenance of key facilities (including accessibility and efficiency retrofits) and increase contributions to facility reserves – thereby creating a model for long-term facility sustainability.	CAO + Corporate Initiatives



Implementation Plan

City of Stratford

Business Process Review

Final Report

High-Level Implementation Plan

KPMG also developed a high-level implementation plan for the data collection strategy recommendations outlined in this report. Below, the recommendations have been prioritized in a rational and systematic way for the City of Stratford.

Actions			Implementation Timeline							
			2022				2023			
Recommendation Reference #	Recommendation	Owner	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
1	Consider implementing a centralized staffing model for facility maintenance	CAO + Corporate Initiatives			Q3	Q4	Q1	Q2		
2	Extend the internal work order tracking process across all departments	Community Services	Q1	Q2						
3,4	Acquire, implement and configure the Work Order module for the City's PSD CityWide software	Community Services + Infrastructure and Development Services			Q3	Q4	Q1	Q2	Q3	

High-Level Implementation Plan

KPMG also developed a high-level implementation plan for the data collection strategy recommendations outlined in this report. Below, the recommendations have been prioritized in a rational and systematic way for the City of Stratford.

Actions			Implementation Timeline							
Recommendation Reference #	Recommendation	Owner	2022				2023			
			Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
5	Inform/train staff of the Management Reporter tool and its location on the City's server. Install the software on staff computers and grant them access if required.	Corporate Services	Q1	Q2						
6,8	Add data fields to customize the Microsoft Dynamics GP software and improve the reporting of facility maintenance costs	Corporate Services	Q1	Q2						
7	Perform a cost-benefit analysis to compare insourcing and outsourcing of these HVAC, electrical and carpentry positions	Corporate Services					Q1			

High-Level Implementation Plan

KPMG also developed a high-level implementation plan for the data collection strategy recommendations outlined in this report. Below, the recommendations have been prioritized in a rational and systematic way for the City of Stratford.

Actions			Implementation Timeline							
			2022				2023			
Recommendation Reference #	Recommendation	Owner	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
9-14	Configure the City's PerfectMind software to enable accurate tracking and reporting of utilization metrics	Community Services	Q1	Q2						
15	Update and populate the interim reporting tool with data from 2022. Refer to Appendix A for further detail.	Staff member from each department including Community Services, Transit, Public Works etc.	Q1	Q2	Q3	Q4	Q1			
16	Consider the disposition of under-utilized and less functional facilities using KPMG's interim reporting tool or system reports after implementing the data collection strategy recommendations contained within this report.	CAO + Corporate Initiatives					Q1			

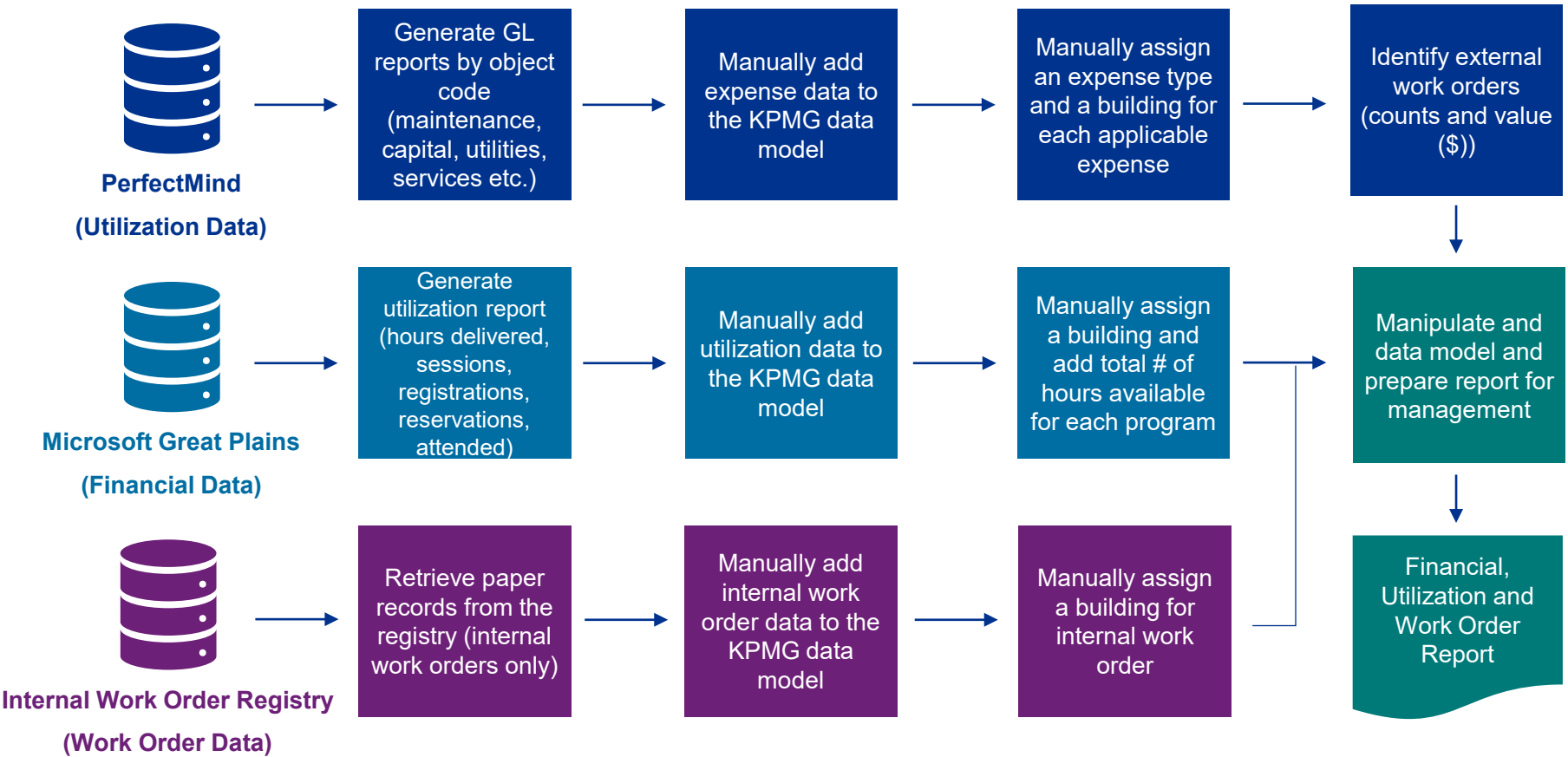


Appendix A

City of Stratford
Business Process Review
Final Report

Interim Reporting Process Flow Chart

KPMG created a data model to consolidate financial, work order and utilization data from various systems at the City of Stratford. The process flow chart shown below depicts the interim process workflow to create the data model until the City can realize the recommended future state.





kpmg.ca



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MANAGEMENT REPORT

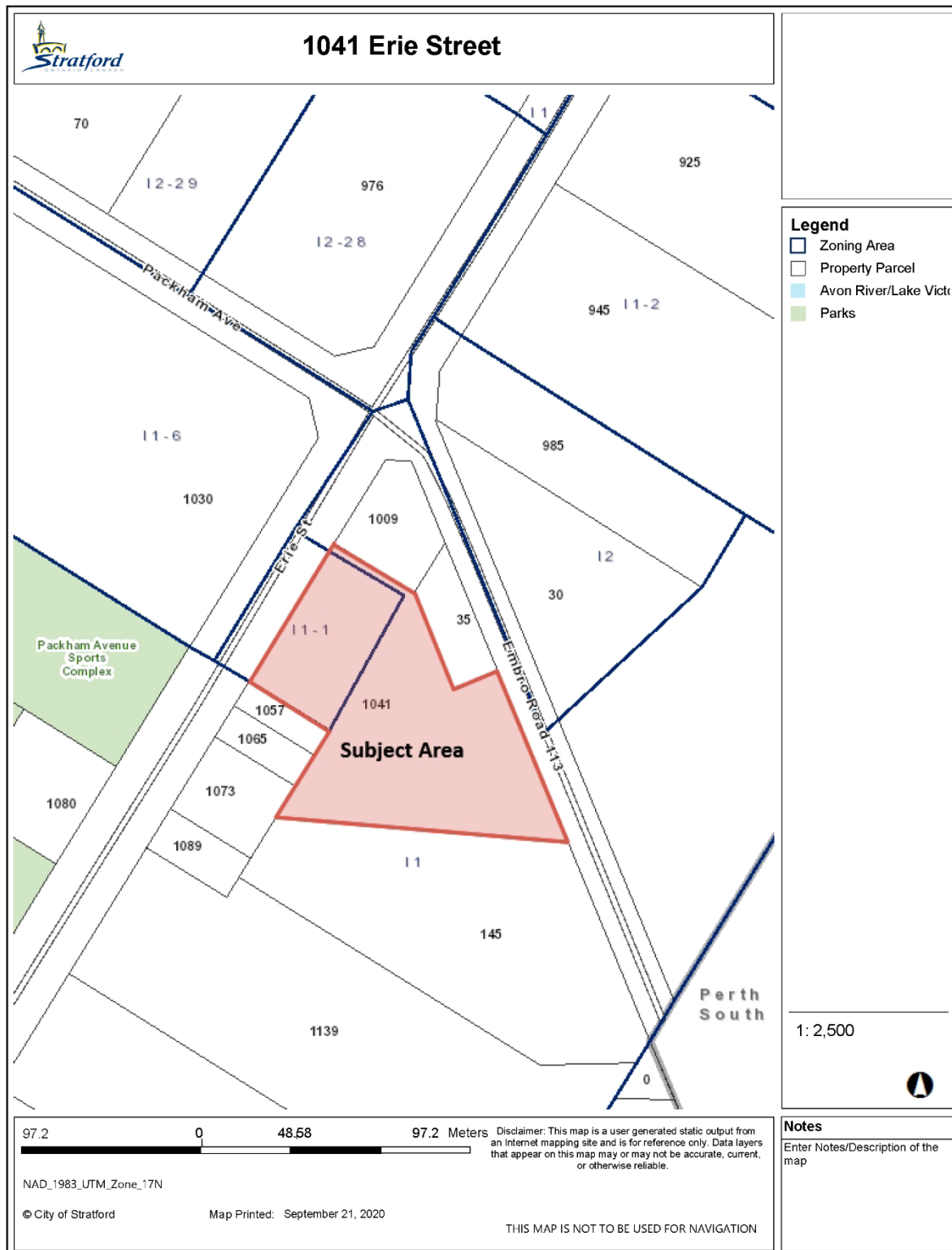
Date: February 14, 2022
To: Mayor and Council
From: Alyssa Bridge, Manager of Planning
Report#: COU22-010
Attachments: Correspondence from Mike Eldebs dated January 18, 2022

Title: Request to allow for a Minor Variance application for 1041 Erie Street

Objective: To obtain direction from Council to allow for the consideration of a minor variance application for 2405222 Ontario Inc. for the lands located at 1041 Erie Street.

Background: On February 22, 2021, City of Stratford Council passed By-law 21-2021 to amend the zoning on 1041 Erie Street to permit a car wash, a gas bar, a motor vehicle body shop, a motor vehicle repair shop, a service trade and a restaurant with a drive thru. In addition, the zoning by-law amendment established a minimum setback from Erie Street of 13.8 metres to recognize the location of the existing building.

Location Map



Analysis: The owner is now seeking to apply for a minor variance to decrease the setback from Erie Street for the existing building from 13.8 metres to 13.589 metres due to an error regarding the location of the existing building in the zoning by-law amendment request. Consideration of a matter of this nature would normally fall within the jurisdiction of the Committee of Adjustment; however, Sections 45(1.3) and 45(1.4) of the *Planning Act* prohibits the submission of an application for a minor variance to the Committee of Adjustment within two years of the date from the zoning by-law amendment unless Council has resolved to allow an application to be made.

As the *Planning Act* requires Council to permit an application to the Committee of Adjustment within two years of a zoning by-law amendment, it has been requested that Council allow an application to the Committee of Adjustment. Council is not taking a position on the minor variance and is only allowing for the application to be made to the Committee of Adjustment. The Committee of Adjustment will deliberate on the matter and make a decision following normal points of consideration which include:

- consistency with the Provincial Policy Statement;
- the variance maintains the general intent and purpose of the Official Plan;
- the variance maintains the general intent and purpose of the Zoning By-law;
- the variance is appropriate for the development of the land, building or structure; and
- the variance is considered minor in nature.

Financial Implications:

Other: A minor variance application fee of \$1252.00 is required with any application.

Alignment with Strategic Priorities:

Strengthening our Plans, Strategies and Partnerships

Partnering with the community to make plans for our collective priorities in arts, culture, heritage and more. Communicating clearly with the public around our plans and activities.

Widening our Economic Opportunities

Strengthening Stratford's economy by developing, attracting and retaining a diversity of businesses and talent.

Alignment with One Planet Principles:

Equity and Local Economy

Creating safe, equitable places to live and work which support local prosperity and international fair trade.

Staff Recommendation: THAT Mike Eldebs be permitted to submit a minor variance application to the Committee of Adjustment for the lands located at 1041 Erie Street.

Prepared by: Alyssa Bridge, MCIP, RPP, Manager of Planning
Recommended by: Taylor Crinklaw, Director of Infrastructure and
Development Services
Joan Thomson, Chief Administrative Officer



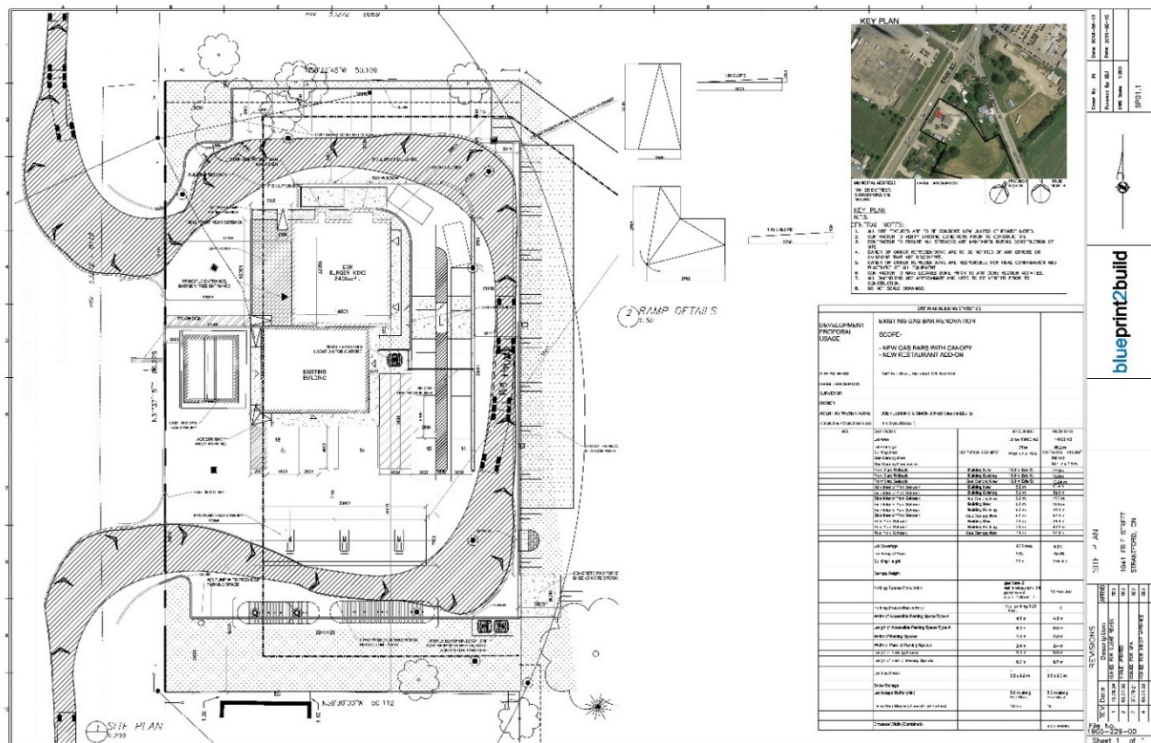
To whom it may concern,

In 2019, a building permit application was submitted and issued for the renovation of interior and exterior cladding of the existing building situated on 1041 Erie Street which was built in the 1940's. The building renovation coincided with a petroleum upgrade and rebranding.

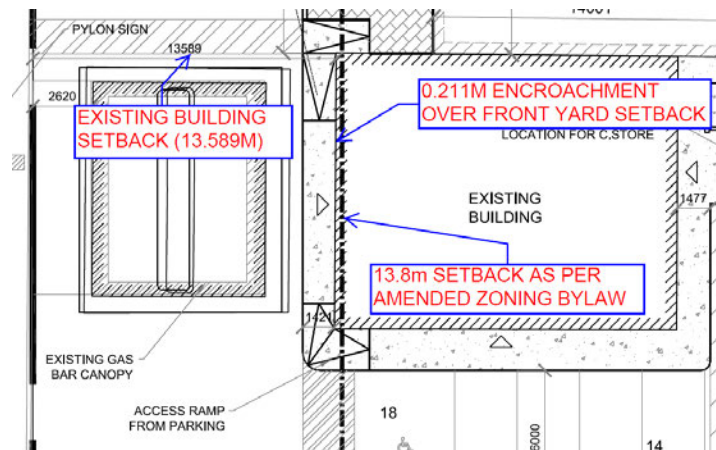
After the renovation was completed, the owner of the site started the process of finding a food partner for the site. In order to accommodate a food partner, a zoning amendment would be required which included a proposed site plan update showing a new 2400sq.ft restaurant with a drive through, and a new 3 column gas bar canopy. The zoning amendment application was submitted to the City of Stratford on September 18, 2020, and passed on February 22, 2021 (Z05-20). In this process the town also amended the front yard set back to allow the existing building to comply with current zoning bylaws. The front yard setback was reduced from 14.0m to 13.8m.

A site plan application amendment (SPA) application was submitted in May 2021. After 2 rounds of SPA submissions and comments from the town, our current SPA submission is very close to approval with minor comments remaining (Picture 3). One of the only remaining comments relate to the existing building being over the front yard setback, which was amended in the zoning by-laws to 13.8 meters from the front yard property line. The actual existing distance between the building and the front yard property line is 13.589m. The different measurement between the zoning amendment and SPA application was realized during the details design phase of the SPA. It was discovered upon further review that the existing building was approximately 200mm (8") closer to the front property line than originally thought (Picture 4). In order to satisfy the City's SPA comments, the site requires a minor variance to allow the existing building to be situated within the current setback.

Picture 3: Proposed Site Plan Design



Picture 4: Existing Building Setback



The purpose of the minor variance which we want to apply for is to allow for the existing building to encroach into the 13.8m front yard setback. The minor variance that will be applied for is to encroach 400mm (15.75") into the front yard setback of 13.8m affectively reducing the front yard setback to 13.4m. This larger than required encroachment would allow future changes to the exterior cladding including adding brick, additional insulation, and any other future renovations.

Hopping to hear from you soon,

Thank you

Mike Eldebs

1041 Erie Street

Stratford Ontario,





MANAGEMENT REPORT

Date: February 14, 2022
To: Mayor and Council
From: Alyssa Bridge, Manager of Planning
Report#: COU22-011
Attachments: None

Title: Inclusion of Ongoing Zoning By-law Amendments into the Final Draft Comprehensive Zoning By-law

Objective: To have Council consider a resolution to include ongoing Zoning By-law Amendments to Zoning By-law 201-2001 into the new Comprehensive Zoning By-law.

Background: While the new Comprehensive Zoning By-law was in the final stages of preparation and consideration by Council, several Zoning By-law Amendment have continued to the City's existing Zoning By-law (By-law 201-2001). Upon coming into force and effect, these amendments will need to be incorporated into the new Comprehensive Zoning By-law to reflect Council's decision on these amendments.

Analysis: To ensure that changes granted through ongoing Zoning By-law Amendment applications are reflected in the new Comprehensive Zoning By-law, staff, in consultation with the City Solicitor recommend that Council pass a resolution to specify that these amendments would only be incorporated into the new By-law at such time as the new Comprehensive Zoning By-law comes into force and effect provided that no appeal has been received to the individual Zoning By-law Amendment detailed below. It is recommended that the in-process amendment be incorporated into the new Comprehensive Zoning By-law as follows:

1. 4117 Perth Line 36 on Schedule A, Map 2a and Zone Exception 15.4.28.

Financial Implications:

Not applicable:

There are no financial implications to be reported as a result of this report.

Alignment with Strategic Priorities:

Strengthening our Plans, Strategies and Partnerships

Partnering with the community to make plans for our collective priorities in arts, culture, heritage and more. Communicating clearly with the public around our plans and activities.

Developing our Resources

Optimizing Stratford's physical assets and digital resources. Planning a sustainable future for Stratford's resources and environment.

Widening our Economic Opportunities

Strengthening Stratford's economy by developing, attracting and retaining a diversity of businesses and talent.

Alignment with One Planet Principles:

Equity and Local Economy

Creating safe, equitable places to live and work which support local prosperity and international fair trade.

Staff Recommendation: THAT, pending no appeals being filed and received and upon coming into full force and effect, the following Zoning By-law Amendment be incorporated into the new Comprehensive Zoning By-law:

- 1. 4117 Perth Line 36 as Zone Exception 15.4.28 and on Schedule A, Map 2a.**

Prepared by:

Recommended by:

Alyssa Bridge, MCIP, RPP, Manager of Planning
Taylor Crinklaw, Director of Infrastructure and
Development Services
Joan Thomson, Chief Administrative Officer

REPORT

Good Roads Nominating Committee

To: Heads and Members of Council
 From: Scott Butler – Executive Director
 Date: February 03, 2022 -

The Nominating Committee of Good Roads met on November 24, 2021 and - recommended a slate of candidates to the Board of Directors.

The Board ratified the report as presented. -

The following is the recommended slate: -

City of Toronto	One (1) to be elected
– Paul Ainslie – Councillor, City of Toronto -	
Northern Zone	Two (2) to be elected
– Antoine Boucher – Director of Public Works and Engineering, Municipality of East Ferris	
– Kristin Murray – Councillor, City of Timmins	
South Central Zone	Zero (0) to be elected
– --	
Southeast Zone	Two (2) to be elected
– Chris Angelo – Director of Public Works & Environmental Services, City of Quite West	
– Kelly Watkins – Treasurer, Township of North Frontenac	
Southwest Zone	One (1) to be elected
– Melissa Abercrombie – Manager of Engineering Services, Public Works, The County of Oxford	

The above candidates will serve a two-year term.

Good Roads

In addition to the aforementioned candidates, the following current Directors do not have to be re-elected to the Board. Effective March 01, 2022 each will automatically assume the following positions as either an officer or as a Director completing the second year of a two-year term.

President -	Paul Schoppmann – Mayor, Municipality of St.-Charles -
First Vice-President	John Parsons – Division Manager, Transportation & Roadside Operations, City of London
Second Vice-President	Bryan Lewis – Councillor, Town of Halton Hills -
Immediate Past President	Dave Burton – Mayor, Municipality of Highlands East
Directors	Aakash Desai – Deputy Mayor, Municipality of Grey Highlands
	Nazzareno Capano – Manager, Transportation Policy and Innovation, City of Toronto
	Kelly Elliott – Deputy Mayor, Municipality of Thames Centre
	Cheryl Fort – Mayor, Township of Hornepayne -
	Donna Jebb – Councillor, Town of New Tecumseth

These 15 individuals will serve on the 2022-2023 Board of Directors.

On January 10, 2022, in response to the public health measures enacted by the Government of Ontario, the Board of Directors made the decision to reschedule the 2022 Good Roads Annual Conference. Rather than taking place on February 27 – March 02, the 2022 Good Roads Conference will now be held April 10 – April 13, 2022.

As a result of the decision to shift the dates of the Conference, the Board invoked the authority afforded to it in Section 16 of the Association's Constitution to move the Annual General Meeting to April 12, 2022. The above slate of candidates will be ratified at that meeting.

If any municipal or First Nation member would still like to put their name forward for a position on the Board of Directors, she or he must complete and return the attached Nomination Form.

All nominations must be postmarked or received by e-mail no later than 1600 h on February 25, 2022. Please send to the attention of:

Rick Harms, Chair -
Nominating Committee -
22 - 1525 Cornwall Road -
Oakville, Ontario -
L6J 0B2 -
E-mail: info@ogra.org -

Please be advised that if any additional nominations are received by the deadline noted that an election will be required at the Good Roads Conference.

Any questions regarding the Nomination process or serving on the Board of Directors can be directed to the undersigned at scott@ogra.org or by calling 416-564-4319.

Yours truly,



Scott Butler
Executive Director

c. Rick Harms, Chair, Nominating Committee

1525 Cornwall Rd Unit 22
Oakville, ON L6J 0B2
+1 289 291 6472

Nomination/Consent Form for the 2022-2023 Good Roads Board of Directors

Nominee Name:

Title:

Municipality:

Nominated by:

Title:

Municipality:

Seconded by:

Title:

Municipality:

**Nominee
Signature**

Date

This form must be received e-mail (info@ogra.org) to the attention of Rick Harms, Chair of the Nominating Committee, by 1600 h Eastern Time on Friday, February 25, 2022.

Good Roads



MANAGEMENT REPORT

Date: February 14, 2022
To: Mayor and Council
From: Karmen Krueger, CPA, CA, Acting Director of Corporate Services
Report#: COU22-012
Attachments: Draft 2022 Budget By-Law

Title: 2022 Budget Adoption and By-Law

Objective: To confirm final budget figures and advise Council of changes to the figures since the January 31, 2022 Finance and Labour Relations Committee Meeting.

Background: The draft budget initially prepared by staff was presented to Finance and Labour Relations Committee and released to the City's website on December 14, 2021. The documents included estimates for revenues and expenses that were available at that time and proposed expansion-of-service items, and priority capital projects as identified by staff and as directed by Council from previous meetings. A public consultation survey was issued December 16, 2021, and comments were received until January 4, 2022.

Since then, the Finance and Labour Relations Committee has met an additional three times: January 17, January 25 and January 31. During this time, staff and Council received numerous emails from members of the public to ask questions and express their sentiments on the priorities identified.

Since the January 31, 2022 Finance and Labour Relations Committee budget deliberation meeting, the City has received confirmation of a successful grant application for two identified capital projects in Corporate Services. As a result, these projects and related documents have been updated to reflect the receipt of the funds with no levy impact. The capital projects were initially identified with funding sources as follows:

- Upgrade Records Management Budget \$100,000, Grant \$65,000, Reserves \$35,000
- Human Resources System Budget \$25,000, Reserves \$25,000

The grant provides for both projects to have a larger-than-estimated scope, and the figures have been revised to:

- Upgrade Records Management Budget \$228,960, Grant \$148,824, Reserves \$80,136
- Human Resources System Budget \$50,880, Grant \$33,072, Reserves \$17,808

The result is a slightly higher than anticipated dependency on the IT reserve fund, but will allow the projects to proceed with staging a bit more accelerated than previously presented and ensure sufficient funds are available for integration activities with existing systems.

A third and final adjustment is a capital project identified by Community Services to the Community Services Sub-committee on January 18, 2022 for improving seating capacity in the amount of \$90,000, with funding from My Main Street Community Activator grant. This application is still in progress, and the project will not proceed if the funding is not received, but as it is in progress now, it can be added to the capital project listing for 2022 with no levy impact identified for 2022 or beyond.

Analysis: The 2022 operating and capital plans consist of expenses of \$134,885,723 and non-taxation revenues of \$66,621,597 to fund the City's activities. The difference, of **\$68,264,126** constitutes the funds required to be raised from taxation. The 2022 funds to be raised from taxation is **\$4,806,727** (or 7.6%) higher than in 2021. This largely reflects investment in capital assets, both through contributions to reserves and repayment of debt for projects completed in 2021. It also partially reflects the inflationary impacts being experienced in every division on goods and services.

The City, under the Municipal Act, 2001, is required to prepare its budgets as 'balanced', meaning that there is no planned surplus or deficit. As budgets do consist of estimates, this rarely ends up happening exactly as planned, but the budget is prepared on this premise.

Items historically excluded from the preparation of the City's budget are

- Amortization expenses on tangible capital assets
- Post-employment benefits expenses
- Solid waste landfill closure and post-closure expenses

A separate report to the Finance and Labour Relations Sub-committee will be forthcoming on these matters, as legislatively, the City is required to provide the financial impact of excluding these, under O. Reg 289/04 – Excluded Expenses.

Financial Implications:

Financial impact to current year operating budget:

The revenues raised from taxation, combined with user fees, grants and other sources of recovery revenues are used to finance all the expenses planned for the year. Capital projects identified are funded from a combination of grants, user fees, other recovery revenues and transfers from reserves. Most of these existing reserve and reserve fund balances originated from unspent grants and planned transfers from the tax levy, both in the 2022 budget, as well as previous budgets.

Financial impact on future year operating budget:

The financial impact of the 2022 budget has an indirect impact on future budgets, in that it sets a new baseline upon which increases or decreases are measured. As we move through 2022, changes that result from updated estimates and provincial and federal initiatives that impact local budgets is factored into the future budget years. The 2022 budget process also has another impact on the 2023 budget in the form of strategies employed through the process to split costs over the current year and 2023. Examples of this include phasing in the expansion initiatives and using prior year surpluses to offset what may or may not be permanent cost increases.

Link to asset management plan and strategy:

Making the direct link between the 2022 budget and the City's asset management plan is still in its early stages. The intent is that over time, and by building our asset knowledge database, that the budget year, along with the 9-additional year forecast, will have an explicit and very direct connection to the asset registry. This process will improve over time but depends on activities that ensure that the asset registry is complete, and that projects not included in the asset registry (new, or growth-related) are identified separately as we plan forward.

Alignment with Strategic Priorities:

The budget process is intended to support all the City's strategic priorities by ensuring that sufficient resources are allocated in the areas identified.

Mobility, Accessibility and Design Excellence

Improving ways to get around, to and from Stratford by public transit, active transportation and private vehicle.

Strengthening our Plans, Strategies and Partnerships

Partnering with the community to make plans for our collective priorities in arts, culture, heritage and more. Communicating clearly with the public around our plans and activities.

Developing our Resources

Optimizing Stratford's physical assets and digital resources. Planning a sustainable future for Stratford's resources and environment.

Widening our Economic Opportunities

Strengthening Stratford's economy by developing, attracting and retaining a diversity of businesses and talent.

Alignment with One Planet Principles:

The budget process is intended to support all the One Planet Principles by ensuring that sufficient resources are allocated in the areas identified.

Health and Happiness

Encouraging active, social, meaningful lives to promote good health and wellbeing.

Equity and Local Economy

Creating safe, equitable places to live and work which support local prosperity and international fair trade.

Culture and Community

Nurturing local identity and heritage, empowering communities and promoting a culture of sustainable living.

Land and Nature

Protecting and restoring land for the benefit of people and wildlife.

Sustainable Water

Using water efficiently, protecting local water resources and reducing flooding and drought.

Local and Sustainable Food

Promoting sustainable humane farming and healthy diets high in local, seasonal organic food and vegetable protein.

Travel and Transport

Reducing the need to travel, encouraging walking, cycling and low carbon transport.

Material and Products

Using materials from sustainable sources and promoting products which help people reduce consumption.

Zero Waste

Reducing consumption, reusing and recycling to achieve zero waste and zero pollution.

Zero Carbon Energy

Making buildings and manufacturing energy efficient and supplying all energy with renewables.

Staff Recommendation: THAT Council approve the 2022 operating and capital budget, including the changes to the capital projects noted in the report of the Acting Director of Corporate Services dated February 14, 2022 (COU22-012).

Prepared by: Karmen Krueger, CPA, CA,
Acting Director of Corporate Services

Recommended by: Joan Thomson, Chief Administrative Officer



**BY-LAW NUMBER -2022
OF
THE CORPORATION OF THE CITY OF STRATFORD**

BEING a by-law to adopt the budget (estimates of revenues and expenditures) for tax supported and user pay purposes for the year 2022.

WHEREAS Section 290 of the *Municipal Act, S.O. 2001, c.25*, as amended, requires municipalities to prepare and adopt a budget and establishes requirements under that legislation to set out the estimated revenues and expenditures for the municipality;

AND WHEREAS in accordance with Section 290 of the *Municipal Act, S.O. 2001, c.25*, as amended, Council has considered the sums required during the year for Municipal purposes and is prepared to pass a budget for the year 2022;

AND WHEREAS it is now necessary to adopt the estimates of revenue and expenditures for tax supported and user pay services for the Corporation of the City of Stratford;

NOW THEREFORE BE IT ENACTED by the Council of The Corporation of the City of Stratford as follows:

1. **That** the current estimates of operating revenues and expenditures for tax supported purposes and for user pay purposes for the City of Stratford are hereby adopted as set out in the attached Schedule "A", to be known as the 2022 Operating Budget.
2. **That** the capital project estimates for expenditures and revenues for tax supported purposes and for user pay purposes for the City of Stratford are hereby adopted as set out in the attached Schedule "B", to be known as the 2022 Capital Budget.
3. **That** Schedules "A" and "B" as attached hereto form and become part of this by-law.
4. **That** this by-law shall come into force and effect upon receiving the final passing thereof.

Read a FIRST, SECOND and THIRD Time and

FINALLY PASSED this 14th day of February, 2022.

Mayor – Daniel B. Mathieson

Clerk – Tatiana Dafoe

SCHEDULE "A" TO BY-LAW ____ -2022	
PASSED THIS 14TH DAY OF FEBRUARY, 2022	
CITY OF STRATFORD 2022 BUDGET	
100 TAXATION	(68,264,126)
100 GENERAL REVENUES	(1,915,365)
101 MAYOR'S OFFICE	99,640
102 CITY COUNCIL	373,930
111 CAO'S OFFICE	875,047
112 HUMAN RESOURCES	691,710
121 CITY CLERK	508,770
131 FINANCE & TREASURY	1,404,230
134 INFORMATION TECHNOLOGY	1,705,196
135 PARKING	(464,230)
136 CROSSING GUARDS	242,910
139 GENERAL GOVERNMENT	1,818,477
141 CITY BUILDINGS	862,318
211 FIRE	8,390,884
231 POLICE	12,097,829
251 DEVELOPMENT SERVICES	491,632
310 ENGINEERING	803,839
315 FLEET	1,614,790
320 ROADS	5,888,580
330 SANITARY	0
340 STORM	4,416,682
350 WATER	(7,235)
360 WASTE	1,035,740
411 STRATFORD PUBLIC LIBRARY	2,640,922
512 STRATFORD MUNICIPAL AIRPORT	184,742
513 INDUSTRIAL LAND SERVICING	0
610 SOCIAL SERVICES ADMINISTRATION	17,000
611 ONTARIO WORKS	573,980
613 ANNE HATHAWAY DAY CARE CENTRE	1,170
615 HOUSING	2,356,750
616 CHILDREN SERVICES	239,210
617 EARLY LEARNING & CHILD CARE	115,260
618 BRITANNIA ST APARTMENTS	0
711 PARKS	2,563,180
721 RECREATION	5,320,967
731 CEMETERY	460,180
750 TRANSIT	2,180,784
751 PARALLEL TRANSIT	517,180
810 REQUISITIONS FROM OTHERS	9,284,432
820 COMMITTEES OF COUNCIL	103,945
872 COMMUNITY SUPPORT & GRANTS	769,050

SCHEDULE "B" TO BY-LAW ____-2022
PASSED THIS 14TH DAY OF FEBRUARY, 2022

	CITY OF STRATFORD 2022 CAPITAL BUDGET SUMMARY	Total Project Cost	(Fed/Prov) Grants	Dev. Charges Developer Homeowner Other	City Reserve	Long Term Debt
	A. Corporate Services - total all divisions \$2,163,330					
	A.1. Parking					
1	Erie Lot Improvements	\$ 1,000,000			\$ (1,000,000) R-R11-PRKG	
2	Downie Lot Improvements	\$ 80,000			\$ (80,000) R-R11-PRKG	
3	Smart Parking Project (parking sensors)	\$ 34,390			\$ (34,390) R-R11-PRKG	
4	EV Charging Station Expansion (multiple lots)	\$ 249,100	\$ (110,000)		\$ (139,100) R-R11-PRKG	
	A.2. Information Technology Services					
5	Personal Computers	\$ 48,000			\$ (48,000) R-R11-ITCA	
6	Network Enhancements (with carry forward)	\$ 180,000			\$ (180,000) R-R11-ITCA	
7	Wireless Enhancements	\$ 65,000			\$ (65,000) R-R11-ITCA	
8	Server Upgrade & Licensing	\$ 40,000			\$ (40,000) R-R11-ITCA	
9	Website & Citizen Portal	\$ 90,000			\$ (90,000) R-R11-ITCA	
10	Conference Room Technologies	\$ 97,000			\$ (97,000) R-R11-ITCA	
11	Records Management System Software (carry forward)	\$ 228,960	\$ (148,824)		\$ (80,136) R-R11-ITCA	
12	Human Resources Information System (carry forward)	\$ 50,880	\$ (33,072)		\$ (17,808) R-R11-ITCA	
	B. Fire/Airport - total all divisions \$1,900,000					
	B.1 Fire Nil					
	B.2 Airport					
13	Fuel System Replacement	\$ 400,000			\$ (400,000) R-R11-AIRP	
14	Taxiway Extension	\$ 1,500,000	(1,500,000)			
	C. Community Services - total all divisions \$2,299,000					
	C.1. Parks & Forestry					
15	Maple Avenue Park Playground Structure Replacement	\$ 82,000			\$ (82,000) Taxation	
16	1/2 Ton Pick-up Replacement (P09)	\$ 50,000			(50,000) Taxation	
17	Front End Loader with Snow Blade Replacement	\$ 125,000			(125,000) Taxation	
18	Removal of Fuel Tanks at Parks Yard	\$ 35,000			(35,000) Taxation	
19	Meadowrue Gardens Step Replacement	\$ 25,000			(25,000) Taxation	
	C.2. Cemetery					
20	Cemetery Road Repair	\$ 25,000			\$ (25,000) Taxation	
21	Cemetery Monument Levelling	\$ 25,000			\$ (25,000) Taxation	
22	Removal and Replacement of Cemetery Fuel Tanks	\$ 115,000			\$ (115,000) Taxation	
23	Niche Wall Addition	\$ 65,000			\$ (65,000) Taxation	
	C.3. Facilities					
24	Small Stage and Seating Veterans Drive	\$ 90,000	\$ (90,000)			
25	National Stadium Upgrades Phase I	\$ 100,000			\$ (100,000) Taxation	
26	Community Hall Generator	\$ 30,000			\$ (30,000) Taxation	
27	Scissor Lift Replacement (with carry forward from 2021)	\$ 82,000			\$ (40,000) Taxation	
					\$ (42,000) R-R11-RECR	
28	1/2 Ton Pick-up Replacement (R03)	\$ 50,000			\$ (50,000) Taxation	
29	Replace Allman North Rubber Flooring	\$ 80,000			\$ (80,000) Taxation	
30	Allman Sound system	\$ 50,000			\$ (50,000) Taxation	
31	Replace compressor at Rotary	\$ 80,000			\$ (80,000) Taxation	
32	Packham Drainage	\$ 100,000			\$ (100,000) Taxation	
33	Milton St. Tennis Court Reconstruction	\$ 175,000			\$ (175,000) Taxation	
	C.4. Transit					
34	1/2 Ton Pick-up Replacement	\$ 50,000			\$ (50,000) R-R11-TRAN	
35	ITS-GPS System Upgrade Continuation	\$ 200,000	(146,660)		\$ (53,340) R-R11-RGAS	
36	Automatic Bus Wash Replacement	\$ 350,000	(256,655)		\$ (93,345) R-R11-RGAS	
37	Electronic Fare System	\$ 65,000	(47,665)		\$ (17,335) R-R11-RGAS	
38	Removal and Replacement of Transit Fuel Tanks	\$ 250,000	(183,325)		\$ (66,675) R-R11-RGAS	
	D. Infrastructure & Development Services - total all divisions \$23,978,000					
	D.1. Roads & Traffic					
39	Sidewalk Replacements	\$ 150,000			\$ (150,000) R-R11-PWCA	
40	Accessibility Improvements	\$ 50,000			\$ (50,000) R-R11-PWCA	
41	Trails / Bike & Pedestrian Master Plan Implementation	\$ 200,000			\$ (200,000) R-R11-RFED	
42	Bridge improvements	\$ 375,000			\$ (375,000) R-R11-RFED	
43	Street Lighting Improvements	\$ 25,000			\$ (25,000) R-R11-PWCA	
44	Signal Intersection Updates for AODA	\$ 42,000			\$ (42,000) R-R11-PWCA	
45	Pedestrian Crossing Improvements	\$ 100,000			\$ (100,000) R-R11-PWCA	
46	Downtown Intersection Improvements	\$ 500,000			\$ (500,000) R-R11-PWCA	
47	Missing Sidewalks on Collector and Arterial	\$ 200,000		\$ (100,000)	\$ (100,000) R-R11-PWCA	
	D.2. Storm					
48	Lake Victoria Outfall Replacement	\$ 70,000			\$ (70,000) R-R11-STRM	
	D.3. Water					
49	Miscellaneous Repairs	\$ 100,000			\$ (100,000) R-R11-WATR	
50	Mechanical Upgrades to Wells	\$ 100,000			\$ (100,000) R-R11-WATR	
51	Water Service Replacement (Lead and Frozen)	\$ 100,000			\$ (100,000) R-R11-WATR	
52	Hydrant Distribution Monitoring	\$ 30,000			\$ (30,000) R-R11-WATR	
53	Process Optimization Equipment	\$ 50,000			\$ (50,000) R-R11-WATR	
	D.4. Shared Program Funding					
54	House Service Applications	\$ 400,000		\$ (400,000)		

SCHEDULE "B" TO BY-LAW ____-2022
PASSED THIS 14TH DAY OF FEBRUARY, 2022

	CITY OF STRATFORD 2022 CAPITAL BUDGET SUMMARY	Total Project Cost	(Fed/Prov) Grants	Dev. Charges Developer Homeowner Other	City Reserve		Long Term Debt
	D.5. Sanitary						
55	Pumping Station Upgrades	\$ 100,000			\$ (100,000)	R-R11-WWTR	
56	Sewer Subsidy Program	\$ 75,000			\$ (75,000)	R-R11-WWTR	
57	Basement Isolation	\$ 30,000			\$ (30,000)	R-R11-WWTR	
58	Miscellaneous Repairs	\$ 30,000			\$ (30,000)	R-R11-WWTR	
59	Process Optimization Equipment	\$ 50,000			\$ (50,000)	R-R11-WWTR	
60	WPCP Improvements	\$ 376,000			\$ (376,000)	R-R11-WWTR	
61	WPCP UV Replacement	\$ 500,000			\$ (500,000)	R-R11-WWTR	
	D.6. Linear Infrastructure						
62	Huron Street - Phase 1 - Carry Forward	\$ 3,825,000	\$ (2,623,500)		\$ (291,500) \$ (350,000) \$ (560,000)	R-R11-PWCA R-R11-WWTR R-R11-WATR	
63	Asphalt Resurfacing	\$ 1,450,000			\$ (1,150,000) \$ (100,000) \$ (100,000) \$ (100,000)	R-R11-RFED R-R11-STRM R-R11-WATR R-R11-WWTR	
64	Sewer Relining	\$ 1,000,000			\$ (500,000) \$ (500,000)	R-R11-WWTR R-R11-STRM	
65	Watermain Relining	\$ 900,000			\$ (615,000) \$ (285,000)	R-R11-WATR R-R11-PWCA	
66	Argyle Street - St. David to Cambria - Carry Forward	\$ 950,000			\$ (180,000) \$ (220,000) \$ (160,000) \$ (390,000)	R-R11-STRM R-R11-WATR R-R11-WWTR R-R11-RFED	
67	Argyle Street - St. David to Cambria	\$ 500,000			\$ (150,000) \$ (150,000) \$ (100,000) \$ (100,000)	R-R11-PWCA R-R11-STRM R-R11-WATR R-R11-WWTR	
68	MacKenzie Street - St. David to Cambria - Carry Forward	\$ 1,150,000			\$ (500,000) \$ (270,000) \$ (220,000) \$ (160,000)	R-R11-PWCA R-R11-STRM R-R11-WATR R-R11-WWTR	
69	MacKenzie Street - St. David to Cambria	\$ 500,000			\$ (150,000) \$ (150,000) \$ (100,000) \$ (100,000)	R-R11-PWCA R-R11-STRM R-R11-WATR R-R11-WWTR	
70	Portia Boulevard Watermain Extension	\$ 350,000			\$ (150,000) \$ (150,000) \$ (50,000)	R-R11-PWCA R-R11-WATR R-R11-WWTR	
71	Ontario St Resurfacing	\$ 1,500,000	\$ (1,350,000)		\$ (150,000)	R-R11-STRM	
72	McCarthy Road West Extension from Orr to O'Loane	\$ 900,000		\$ (569,000)	\$ (200,000) \$ (79,250) \$ (51,750)	R-R11-WATR R-R11-PWCA R-R11-STRM	
	D.7. Fleet						
73	Sport Utility Vehicle	\$ 35,000			\$ (35,000)	R-R11-FLET	
74	Sport Utility Vehicle	\$ 35,000			\$ (35,000)	R-R11-FLET	
75	Truck Body Rebuild/Crane Replacement	\$ 75,000			\$ (75,000)	R-R11-FLET	
76	4 x 4 Pick-Up Truck	\$ 35,000			\$ (35,000)	R-R11-FLET	
77	Street Sweeper	\$ 400,000			\$ (400,000)	R-R11-FLET	
78	Vactor/Flusher Truck	\$ 650,000			\$ (650,000)	R-R11-FLET	
	D.8. Landfill						
79	Landfill Cell Expansion	\$ 600,000			\$ (600,000)	R-R11-WAST	
80	Landfill Cell Expansion (Carry Forward)	\$ 1,200,000			\$ (1,200,000)	R-R11-WAST	
81	Landfill Buffer Project (Carry Forward)	\$ 150,000			\$ (150,000)	R-R11-WAST	
	D.9. Facilities						
82	Exterior Envelope Maintenance City Hall	\$ 20,000			\$ (20,000)	R-R11-FACI	
83	Passenger Elevators City Hall/Annex	\$ 680,000	\$ (409,110)		\$ (270,890)	R-R11-FACI	
84	Washroom Replacements Library	\$ 280,000	\$ (100,000)		\$ (180,000)	R-R11-FACI	
85	Cooper Building Rehabilitation	\$ 2,800,000			\$ (2,800,000)	R-R11-GTCH	
	D.10. Miscellaneous						
86	Official Plan Review	\$ 150,000		\$ (135,000)	\$ (15,000)	G-R18-STUD	
87	Landfill Facility Review	\$ 40,000			\$ (40,000)	R-R11-WAST	
88	Public Works Facility Review	\$ 70,000			\$ (70,000)	R-R11-PWCA	
89	Attainable Housing - Community Improvement Plan	\$ 80,000	\$ (40,000)		\$ (40,000)	G-R18-STUD	
	E. Social Services - total all divisions \$8,359,000						
90	Connectivity/Security Systems - with carry forward	\$ 560,000			(560,000)	R-R11-HOUS	
91	Fire Alarm Systems - with carry forward	\$ 520,500			(520,500)	R-R11-HOUS	
92	Kitchens - with carry forward	\$ 203,500			(203,500)	R-R11-HOUS	
93	Furnaces - with carry forward	\$ 75,000			(75,000)	R-R11-HOUS	
94	Roof Replacements	\$ 50,000			(50,000)	R-R11-HOUS	
95	Accessibility Upgrades - with carry forward	\$ 100,000			(100,000)	R-R11-HOUS	
96	Electrical Upgrades	\$ 50,000			(50,000)	R-R11-HOUS	
97	Roof anchors and access	\$ 50,000			(50,000)	R-R11-HOUS	
98	Britannia Phase 2 - carry forward	\$ 6,750,000	\$ (2,063,920)				\$ (4,686,080)

SCHEDULE "B" TO BY-LAW ____-2022
PASSED THIS 14TH DAY OF FEBRUARY, 2022

	CITY OF STRATFORD 2022 CAPITAL BUDGET SUMMARY	Total Project Cost	(Fed/Prov) Grants	Dev. Charges Developer Homeowner Other	City Reserve	Long Term Debt
	F. Stratford Public Library - total \$315,100					
99	Library Collection	\$ 255,100		\$ (20,000)	(235,100) R-R11-LIBR	
100	Computer Equipment	\$ 30,000			(30,000) R-R11-LIBR	
101	Carpet Replacement	\$ 30,000			(30,000) R-R11-LIBR	
	G. Stratford Police Service - total \$1,271,525					
102	Radio System Upgrade (carry forward)	\$ 590,000			\$ (590,000) R-R11-POLI	
103	Telephone System Upgrade (carry forward)	\$ 158,000			\$ (158,000) R-R11-POLI	
104	Police Vehicles (5)	\$ 373,075		\$ (140,030)	\$ (233,045) R-R11-POLI	
105	Portable Radios - Legacy Replacement	\$ 50,000			\$ (50,000) R-R11-POLI	
106	VM Server Replacement	\$ 50,000			\$ (50,000) R-R11-POLI	
107	Phone System Server (carry forward)	\$ 20,450			\$ (20,450) R-R11-POLI	
108	Locker Room Replacement	\$ 15,000			\$ (15,000) R-R11-POLI	
109	Fusion System Server	\$ 15,000			\$ (15,000) R-R11-POLI	
	TOTALS (including carry forwards)	\$ 40,285,955	\$ (9,102,731)	\$ (1,364,030)	\$ (25,133,114)	\$ (4,686,080)

October 14, 2021

Alyssa Bridge, MCIP, RPP
 Manager of Planning
 City of Stratford
 82 Erie Street, 3rd floor
 Stratford, ON N5A 2M4

- and -

Tatiana Dafoe, City Clerk
 City of Stratford
 82 Erie Street, 3rd floor
 Stratford, ON N5A 2M4



RE: Draft Comprehensive Zoning By-law (July 2021)

On behalf of the Stratford and Area Builders' Association, I am writing to express concern with respect to the proposed residential densities in the new draft Comprehensive Zoning By-law (July 2021), specifically in the context of provincial direction to encourage the efficient use of land and resources and the significant need for additional attainable and affordable housing in our community.

Through Table 6.4.5 of the draft Comprehensive Zoning By-law, properties zoned R5(1) are being down zoned from 100 units per hectare to 55 units per hectare. Further, land zoned R5(2) is being down zoned from 100 units per hectare to 65 units per hectare. It is understood that the "down-zoning" in the draft Comprehensive Zoning By-law has been proposed by staff to implement the Official Plan policies that introduced density limits for all land designated as "Residential" in the City to 65 units per hectare.

There are several properties within the City that would be well suited to medium density development and the current Official Plan policies and proposed provisions in the draft Comprehensive Zoning B-law limit the ability to provide a greater range of housing in the City. The down-zoning also has the effect of now requiring owners of properties zoned R5(1) and R5(2) to undertake site-specific zoning by-law amendment application processes, which adds to the cost and time to bring housing to the market.

It is respectfully requested that Council and staff consider the following:

1. During the upcoming Comprehensive Official Plan Review (commencing fall of 2021), consideration be given to either revising the maximum density limit within the "Residential" designation or undertaking an analysis of properties across the City that would be suitable for medium density development and designating them as such.
2. Consider increasing the proposed density in the R5(1) Zone from 55 units per hectare to 65 units per hectare, conforming to the existing Official Plan policies.

Should you have any questions or comments, please let us know and we would be happy to discuss further.

Respectfully,
 Melissa Schenk
 Executive Officer | SABA



MANAGEMENT REPORT

Date: January 24, 2022
To: Planning and Heritage Committee
From: Alyssa Bridge, Manager of Planning
Report#: PLA22-001
Attachments: None

Title: Planning Report – Modification to Draft Approved Plan of Subdivision 31T18-003, 4178 Perth Line 36

Objective: The purpose of this report is to evaluate and recommend modifications to draft approval of plan of subdivision 31T18-003 for the property at 4178 Perth Line 36.



Background: Plan of Subdivision, 31T18-003 was granted draft approval by City Council on February 10, 2020. Through the draft approved plan, a vehicular connection was provided to the lands to the east of the subject property. The adjacent developer is now advancing Official Plan Amendment and Zoning By-law Amendment applications. Through these applications and the conceptual site design prepared for a future plan of condominium application on the adjacent lands, it has been determined that the connecting street is no longer required. As a result, the developer of the subject lands is now proposing to remove the connecting Street 'D' from the plan of subdivision and convert the land to an additional residential building lot.

The requested red-line changes include:

- Replacing Street 'D' with a new single detached lot;
- A reduction in the lot frontage of the adjacent Lot 60 from 20 metres to 14.65 metres;
- The connection of Street 'B' to Perth Line 36 at the easterly loop to provide a second access for vehicles;
- The removal of the 0.3 metre reserves for Street 'D',
- The provision of daylight triangles on both sides of the street connection to Line 36; and
- The renumbering lots and blocks.

Analysis: A number of modifications to draft approved plan of subdivision 31T18-003 have been requested as result of changes to the proposed form of development for the adjacent lands to the east. The applicant is intending to close Street 'D' that was intended to provide for a vehicular connection to the future subdivision along the eastern property boundary. A vehicular connection is no longer required to the adjacent subdivision. The closure of Street 'D' will allow for the development of one additional building lot and will result in a reduction in the lot frontage of the adjacent lot.

The numbering of lots 59 to 98 will increase by one number to accommodate the additional building lot. The lots are to be re-numbered 59 to 99.

Lot 60 will now have a lot frontage of 14.85m, the 0.3m reserve blocks 112, and 114 are no longer required and have been removed from the draft plan and the blocks on the plan have been renumbered accordingly.

Provincial Policy Statement

The plan of subdivision allows for the development of a mix of residential uses that include single detached dwellings and a medium density block. The proposal is considered to implement a cost effect development pattern that includes park and open space areas which meet the long term needs of the residents. The subject lands are located within the City of Stratford boundaries which are classified as a settlement area and the development will utilize services that have been planned for the residential

subdivision. The proposed modifications to the draft plan of subdivision is consistent with the Provincial Policy Statement, 2020.

City of Stratford Official Plan

The Residential Area policies allow for a range of dwelling types from single detached and semi-detached dwellings to townhouses and low-rise apartment buildings. The plan of subdivision provides efficient growth on lands that have been designated for Residential development with a mix of single detached dwellings and a medium density residential block that is located adjacent to a collector road. The modifications continue to provide for a Medium Density Residential Block and single detached lots that meet the density targets in the low and medium density residential designations.

The proposed modification to the draft approved plan of subdivision conforms with the policies of the Official Plan and represents good planning for the subject lands.

City of Stratford Zoning By-law

The reduced frontage for Lot 60 complies with the Residential First Density R1(5) Zone, the new proposed lot will meet the Zoning By-Law requirements and the proposed modifications meet the intent of the Zoning By-Law.

Financial Implications:

Financial impact on future year operating budget:

No municipal expenses are anticipated to support the development. Development Charges will be calculated for the additional dwelling unit that are to be constructed and property tax revenues are expected on future dwellings.

Alignment with Strategic Priorities:

Developing our Resources

Optimizing Stratford's physical assets and digital resources. Planning a sustainable future for Stratford's resources and environment.

Alignment with One Planet Principles:

Health and Happiness

Encouraging active, social, meaningful lives to promote good health and wellbeing.

Equity and Local Economy

Creating safe, equitable places to live and work which support local prosperity and international fair trade.

Culture and Community

Nurturing local identity and heritage, empowering communities and promoting a culture of sustainable living.

Land and Nature

Protecting and restoring land for the benefit of people and wildlife.

Sustainable Water

Using water efficiently, protecting local water resources and reducing flooding and drought.

Travel and Transport

Reducing the need to travel, encouraging walking, cycling and low carbon transport.

Staff Recommendation: THAT the draft conditions of approval of plan of subdivision 31T18-003 be modified as follows:

Revise Condition #1 to read:

This draft approval applies to the draft plan submitted by Zelinka Priamo Ltd., prepared by MTE, certified by Trevor McNeil O.L.S., Drawing No. DP1 dated Nov. 21/2019, as red line amended, which shows a total of 99 single detached residential lots, 1 multiple unit development block, 1 park block, 1 access block, 2 stormwater management blocks, 3 open space blocks, 2 road widenings blocks and 6-0.3m reserve blocks all served by 2 new local streets.

Revise Condition #15 to read:

The Owner shall dedicate all 0.3 m reserve block (Blocks 108 to 113, both inclusive) to the City of Stratford free of encumbrances, to the satisfaction of the City.

PARKLAND

Revise Condition #22 to read:

The Owner shall dedicate Block 106 to the City of Stratford for Park purposes and pay the City cash-in-lieu for 0.731 ha of parkland pursuant to the provisions of Section 51.1 of the Planning Act. The dedication of Block 106 and cash-in-lieu for 0.731 ha shall satisfy the parkland dedication requirements for all lands within the boundary of this draft plan and within the boundary of draft approval 31T-12001A. All costs associated shall be borne by the Owner.

Revise Condition #23 to read:

In conjunction with the submission of engineering drawings, the Owner shall submit park design and grading and servicing plans, for review and approval by the Director of Infrastructure and Development Services, which accommodate an east-west pathway on Blocks 103 and 105 to the satisfaction of the Director of Community Services and the Director of Infrastructure and Development Services.

Revise Condition #24 to read:

The Owner shall grade, service and seed Block 106 within one year of final approval of the appropriate phase, to the satisfaction of the Director of Community Services and the Director of Infrastructure and Development Services.

Trails/Bikeways/Pedestrian Easements

Revise Condition #27 to read:

Prior to final approval, the Owner shall dedicate a blanket easement for public access through Blocks 103, 104, 105 & 107 in favour of the City to the satisfaction of the Manager Development Services.

STORMWATER SERVICING:

Revise Condition #33 to read:

Concurrent with final approval of the plan, the Owner shall provide all required and adequate land dedications related to the stormwater works, including Blocks 101 & 102, satisfactory to the City.

TRANSPORTATION:

Revise Condition #50i)b) to read:

The Owner shall construct a 1.5 metres (5') sidewalk on the following streets to the satisfaction of the City Engineer within a time-frame as directed by the City Engineer:

b) Street 'B' - abutting the exterior side yard of lot 60 and the frontage of lots 59 to 75 including Blocks 100, 102 and 106.

Connecting Roads/Terminations

Revise Condition #54 to read:

The Owner shall convey road widening Blocks 114 and 115 to the City of Stratford free of encumbrances and at no cost to the City to the satisfaction of the City.

Delete condition #55

Conservation Regulation Area And FLOODPLAIN

Revise Condition #60 to read:

The regrading and channelization of Blocks 103, 104 and 105 is to be completed all at once generally in keeping with the Master Drainage Plan prepared by McCormick Rankin Corporation and approved report, 2007 to the satisfaction of the Director of Infrastructure and Development Services and Upper Thames River Conservation Authority. No works shall be completed in contravention of the Drainage Act.

Revise Condition #61 to read:

Channelization and regrading within Blocks 103, 104 and 105 is to occur prior to any excavation or regrading within the existing flood plain limits to

ensure flood storage is maintained. The Owner agrees to provide certification the channelization and regrading noted above has been completed in accordance with the approved plans to the satisfaction of the Director of Infrastructure and Development Services and Upper Thames River Conservation Authority.

Prepared by:

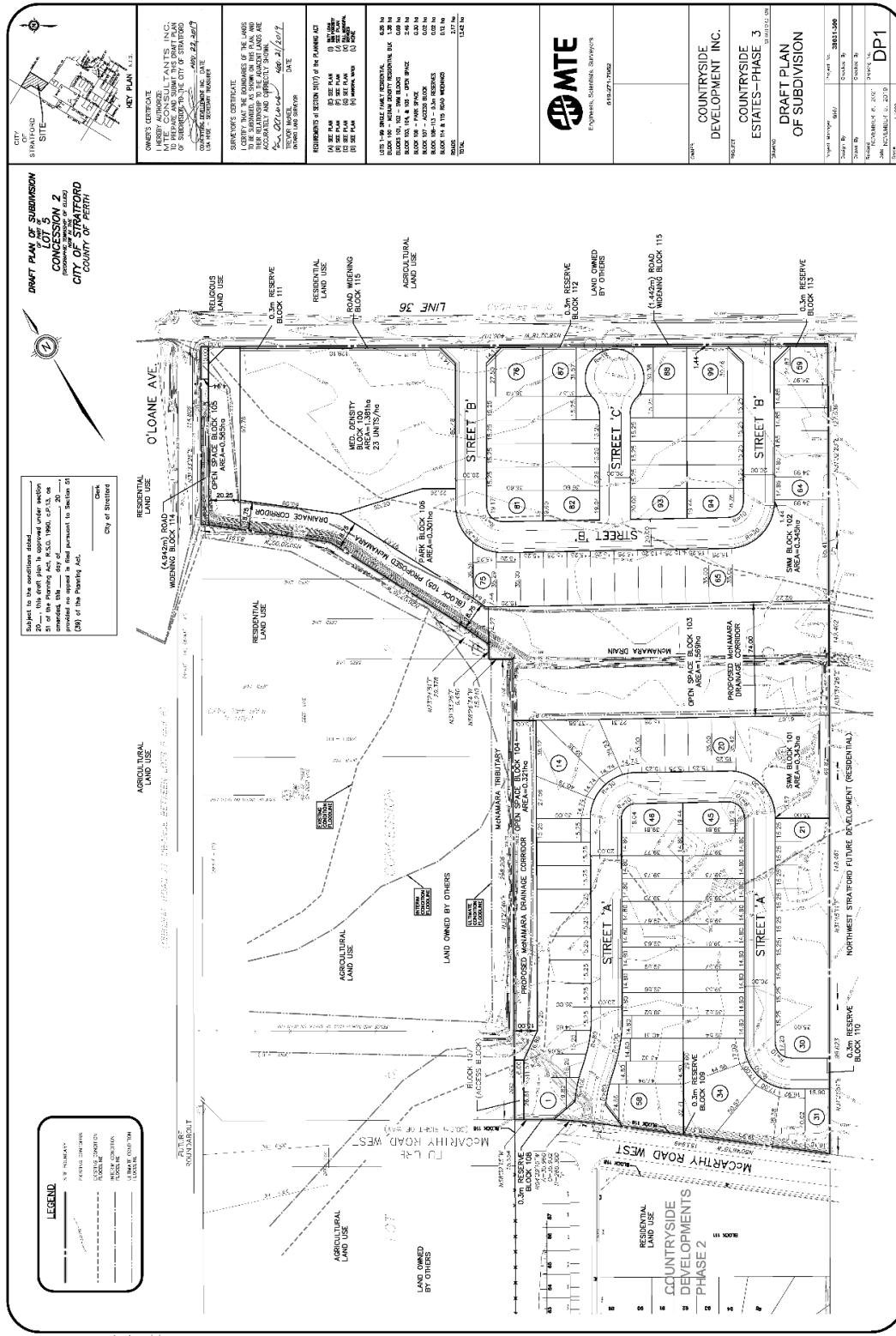
Jeff Bannon, MCIP, RPP – Planner

Recommended by:

Taylor Crinklaw, Director of Infrastructure & Development Services

Joan Thomson, Chief Administrative Officer

Modified Draft Plan of Subdivision





MANAGEMENT REPORT

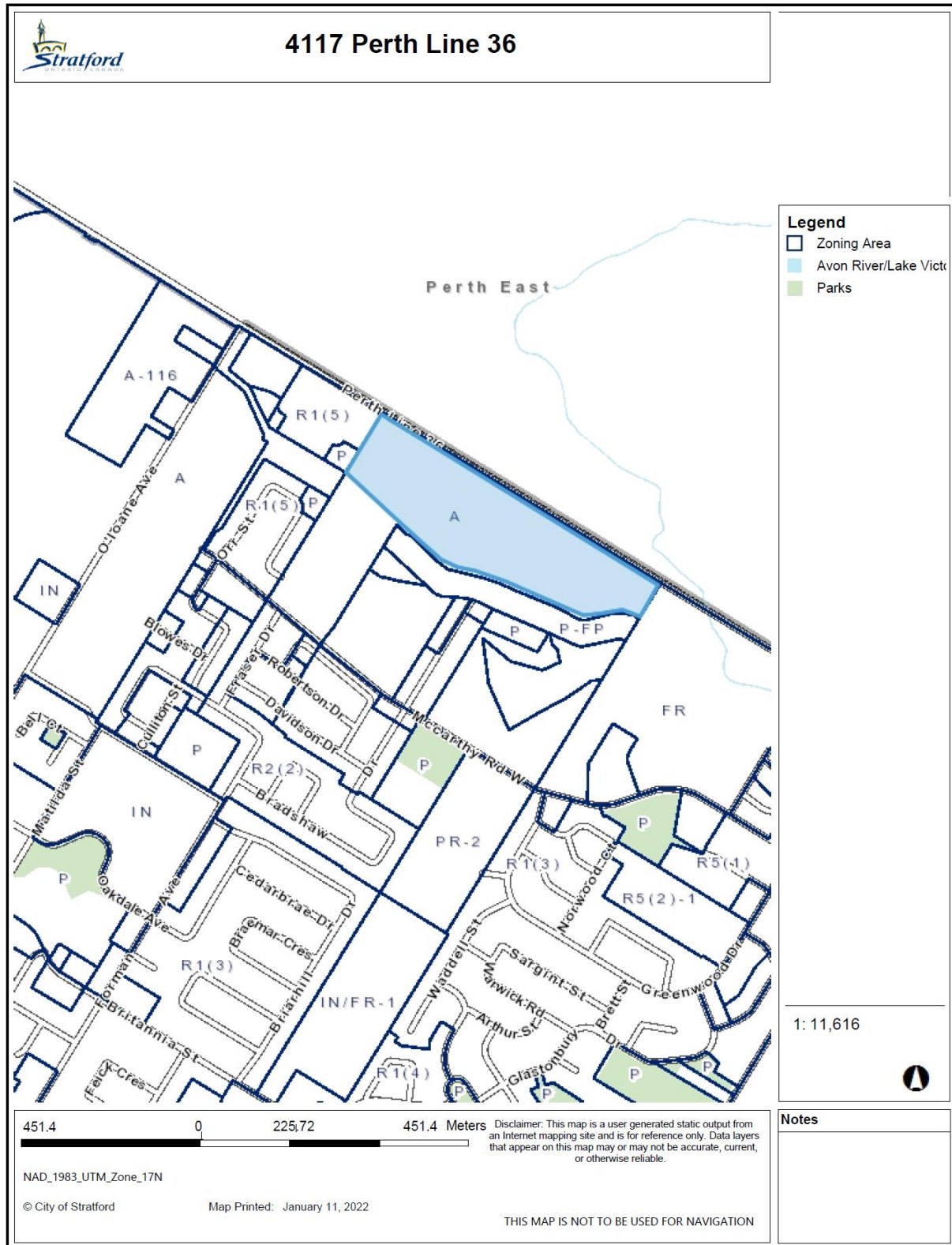
Date: January 24, 2022
To: Planning and Heritage Committee
From: Alyssa Bridge, Manager of Planning
Report#: PLA22-002
Attachments: None

Title: Planning Report, Official Plan Amendment OPA01-21 and Zoning By-law Amendment Z01-21 for 4117 Perth Line 36

Objective: The purpose of this report is to provide staff's evaluation and recommendation on Official Plan Amendment application OPA01-21 and Zoning By-law Amendment application Z01-21 for 4117 Perth Line 36.

Background: In January 2021, applications were deemed complete for an Official Plan Amendment (OPA01-21) a Zoning By-law Amendment (Z01-21) and a Draft Plan of Subdivision (31T21-001) for the lands located at 4117 Perth Line 36. Subsequent to the Statutory Public Meeting, held in February 2021, the applicant (Northwest Stratford Developments Inc.) entered into an agreement of purchase and sale with Reid's Heritage Homes for the lands subject to these applications located north of the McNamara Drain. Reid's Heritage Homes is now proceeding with revised Official Plan Amendment and Zoning By-law Amendment applications for these lands. The draft plan of subdivision application is currently being held in abeyance as it is anticipated that the development of the lands will proceed by way of a future Draft Plan of Condominium application. It is anticipated that applications for the balance of the lands south of the McNamara drain will proceed separately at a later date.

Location and Zoning Map for the Subject Lands (4117 Perth Line 36)



The subject lands are located to the south of Perth Line 36 and north of the McNamara Drain. The area is legally described as Part Lots 3 & 4, Concession 2, (Geographic Township of Ellice) in the City of Stratford. They have an approximate area of 14.78 hectares and approximately 812 metres of frontage on Perth Line 36.

Photo of Subject Lands from Perth Line 36:



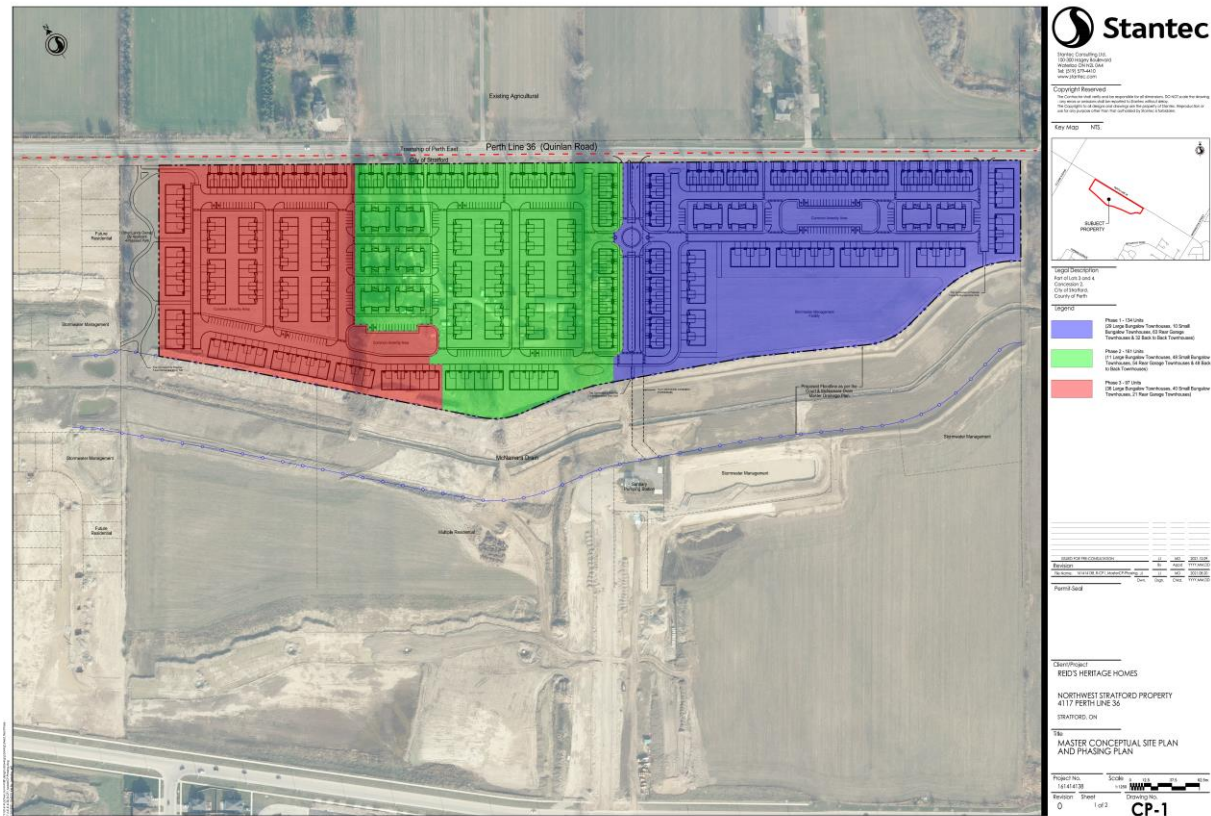
Site Characteristics:

Characteristic	Information
Existing Use:	Agricultural farmland, two single detached dwellings with accessory buildings and a municipal drain
Frontage:	812m
Depth	222.24m
Area	14.78ha
Shape	Irregular

Surrounding Land Uses:

Direction	Use
North	Farmland/Agricultural
East	Farmland/Future Residential
West	Farmland/Residential
South	Single detached, multiple residential dwellings and future residential

Conceptual Site Plan (subject to future Site Plan and Draft Plan of Condominium applications):



Applications:

Official Plan Amendment

The proposed Official Plan amendment is to re-designate the subject lands from 'Residential Area' and 'Medium Density Residential' to 'Medium Density Residential Area – Special' to allow for additional residential uses including single detached, semi-detached, townhouse, apartment, triplex, stacked townhouse dwellings and back-to-back townhouse dwelling units with a minimum density of 16 units per hectare and a maximum density of 100 units per hectare. The amendment also proposes a maximum height of 6 storeys for apartment dwellings and 4 storeys for all other residential uses.

The amendment also proposes to alter the 'Regulatory Flood Hazard' and the 'Parks and Open Space' boundaries.

Zoning By-law Amendment

The Zoning By-law amendment requests to rezone the lands from Agricultural (A) to a Residential Fourth Density R4(2)- Special zone, Park (P) zone and Floodplain (FP) zone. The R4(2) zone will permit cluster housing in the form of single detached, semi-detached, triplex, townhouse dwellings, back-to-back townhouse dwellings, stacked townhouse dwellings and apartment dwellings. Site specific regulations have been requested related to lot coverage, density, landscaped open space and setbacks.

Two holding provisions are also requested. The first is proposed to be applied to the entirety of the Residential R4(2) zone to allow a maximum of 392 dwelling units until additional servicing is provided. A portion of the subject lands are located within the existing floodplain. Works are currently underway, in consultation with the City of Stratford and the Upper Thames River Conservation Authority to alter the floodplain to allow for the development of these lands. As a result, a second holding provision has been requested to apply to lands within the existing floodplain to prevent any buildings or structures on these lands until the works to the McNamara Drain and floodplain have been completed and accepted by the City.

Agency Comments:

Circulation of the application to various agencies produced the following comments to date (February 10, 2021):

- Hydro One: No concerns
- Festival Hydro: The lands subject to these applications are not currently within Festival Hydro's service territory and the developer should reach out to Festival Hydro to discuss options for going through a service area amendment process with Hydro One.
- Canada Post: Mail delivery service to the development will be provided through centralized Community Mailboxes. If apartments are to be constructed, delivery service will be provided through centralized Lock Box Assembly.
- Bell Canada: The owner will be required to convey any easements as deemed necessary by Bell Canada to service the new development.
- Building Division: No concerns with the Official Plan Amendment or Zoning By-law Amendment.
- Engineering Division:
 - Official Plan Amendment/Zone Change -the necessary provisions to create the changes proposed to the Regulatory Flood Hazard Line on Schedule "A" and the Flood and Erosion Hazard Line and UTRCA Regulation Limit on Schedule "B" have been included as part of the works for the Coventry Phase 4 subdivision, and as such Engineering does not object to the Official Plan Amendment application

- General Vegetation Overview and Impact Assessment, GSP Group, Feb.7, 2020 -the report notes that all 533 trees within the subject lands are proposed to be removed without any supporting documentation other than 'grading/road construction'. There is no evaluation of any attempt to preserve the trees or commitment for compensation for the removal. An updated report is still outstanding. For the lands north of the drain proceeding through the subject applications, the requirement for tree preservation and an updated report can be part of the condominium and/or site plan application.
- Environmental Noise Assessment, MTE Consultants Inc., November 4, 2020. The comments in section 4.2.3 do not seem to match the proposed draft plan. The conceptual development plans for the blocks should be provided to reference the comments made in section 4.2.3. In addition, the requirement for a noise attenuation barrier along Line 36 has not been established or ruled out with this report, and a further report will be necessary once more details are known. An updated report specific to the Reid's proposal will be required as part of the condominium/site plan submission
- West Residential Subdivision TIS, PTSL, August 2020 - the report must be updated to include pedestrian and cycling impacts and accommodations. The data is modelled with a concept that does not match the proposed draft plan including the number of connections to Line 36 and must be updated. The results of the modelling indicate that prior to the installation of traffic control signals at the Line 36 / Mornington intersection, the traffic operations will be experiencing a level of service of F. The report must provide suggestions for mitigating this negative outcome. An updated report specific to the Reid's proposal will be required as part of the condominium/site plan submission
- Preliminary Stormwater Management Report, MTE Consultants Inc., October 23, 2018 = Criteria – revise to achieve an Enhanced level of quality control. In addition, provide conceptual grading/servicing drawings in order to support the conceptual pond design and modelling. Also, indicate where storm sewer easements will be required in order to direct public road allowance drainage to the appropriate stormwater management facility. The study is to include water balance information, proposals, and calculations in the report. Un updated report specific to the Reid's proposal will be required as part of the condominium/site plan submission
- Sanitary and Water Servicing letter, MTE Consultants Inc., November 18, 2020 -the watermain on Street C (Orr Street) must be connected to McCarthy Road W through Fraser Drive AND either extend to Bradshaw Drive or loop temporarily to McCarthy Road W at the east limit of the plan. The lands north of the McNamara Drain must connect to the watermain on Bradshaw Drive south of the drain, and to the watermain on Line 36. The

developer must construct a watermain across the entire frontage of the lands on Line 36 and as far east as required to connect to an existing watermain. The requirement above remains in place, but it is understood that an alternative method of connection will be allowed in conjunction with the development to the west. Appropriate timing of construction and easements will be required and will be subject to approval by the City.

Public Comments

Notice of the application was sent to 71 surrounding property owners on January 27, 2021. Notice was also published in the Beacon Herald on January 30, 2021. The Statutory Public Meeting was held on February 23, 2021. One public comment has been received regarding the existing trees on the subject lands. Through the future Site Plan and Draft Plan of Condominium applications, the applicant will be required to submit an updated Vegetation Management Plan outlining any trees proposed to remain and those to be removed.

Analysis:

Provincial Policy Statement

The Provincial Policy Statement (PPS), 2020 came into effect on May 1, 2020. The PPS is issued under Section 3 of the Planning Act and provides direction on matters of Provincial interest related to land use planning and development. The Planning Act requires that all decisions affecting planning matters shall be consistent with the PPS.

Section 1.1.1 of the PPS states that:

“1.1.1 Healthy, liveable and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
- b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;
- c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;
- d) avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;

- e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;
- f) improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;
- g) ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs;
- h) promoting development and land use patterns that conserve biodiversity; and
- i) preparing for the regional and local impacts of a changing climate.”

The proposed Official Plan Amendment and Zone Change amendment are consistent with Section 1.1.1 of the PPS by:

- Promoting efficient development patterns through the development of a vacant site identified for development through the Stratford West Secondary Plan that provides for the efficient use of land in line with the density targets of the Official Plan and the secondary plan that utilizes existing and planned municipal services; and
- Providing for the development of 392 residential units including single detached, semi detached, back-to-back townhouses, triplex, stacked townhouses and apartments, that contributes to provision of a range and mix of housing types within the City of Stratford.

Section 1.1.3 of the PPS sets out a policy framework with respect to Settlement Areas. Policy 1.1.3.1 directs that Settlement Areas shall be the focus of growth and development. Policy 1.1.3.2 of the PPS further specifies that:

“1.1.3.2 Land use patterns within settlement areas shall be based on densities and a mix of land uses which:

- a) efficiently use land and resources;
- b) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;
- c) minimize negative impacts to air quality and climate change, and promote energy efficiency;
- d) prepare for the impacts of a changing climate;

- e) support active transportation;
- f) are transit-supportive, where transit is planned, exists or may be developed; and
- g) are freight-supportive”.

The subject lands are located within the settlement area as identified in the City of Stratford Official and lands located within the settlement area are intended through the City’s Official Plan and the Stratford West Secondary Plan to be the focus of growth and development in the City. The proposed development will utilize existing and planned municipal infrastructure.

Section 1.7 of the PPS sets out a framework to support long term economic prosperity. The proposed development is consistent with this framework through the provision additional housing supply in the City that is in a form that supports the provision of a range of housing options for a diverse workforce. In addition, through optimizing the use of land and infrastructure through the development of a vacant site with existing and planned municipal services that have capacity to accommodate the proposed development the subject applications are consistent with Section 1.7 of the PPS.

Section 2.6 of the PPS sets out a policy framework with respect to Cultural Heritage and Archaeology. To address archaeology, the applicant has undertaken an Archaeological Assessment of the subject lands. The Archaeological Assessment was entered into Ontario Public Register of Archaeological Reports on February 28, 2019.

Section 3.1 of the PPS outlines policies related to Protecting Public Health and Safety. Specifically with respect to Natural Hazards, Section 3.1.2 states that development and site alteration shall not be permitted within a floodway. In consultation with the City of Stratford and the Upper Thames River Conservation Authority, work is currently underway within the McNamara Drain and when completed, the proposed residential development will be outside of the flood hazard limit and will be consistent with the projecting public health and safety policies. Until such time as the works have been completed to the satisfaction of the City of Stratford and the Upper Thames River Conservation Authority, a holding provision is recommended through the proposed Zoning By-law Amendment to restrict structures within the flood hazard area.

The subject applications are consistent with the PPS, 2020.

City of Stratford Official Plan

The City of Stratford Official Plan (OP) was adopted by Council on January 25, 1993 and was comprehensively updated through Official Plan Amendment No. 21 in 2016. The OP establishes the goals, objectives and policies to manage and direct growth in the City of Stratford to the year 2033.

The subject property is currently designated Medium Density Residential, Residential Area and Parks and Open Space in the OP. A portion of the subject lands are also identified as being within the Regulatory Flood Hazard.

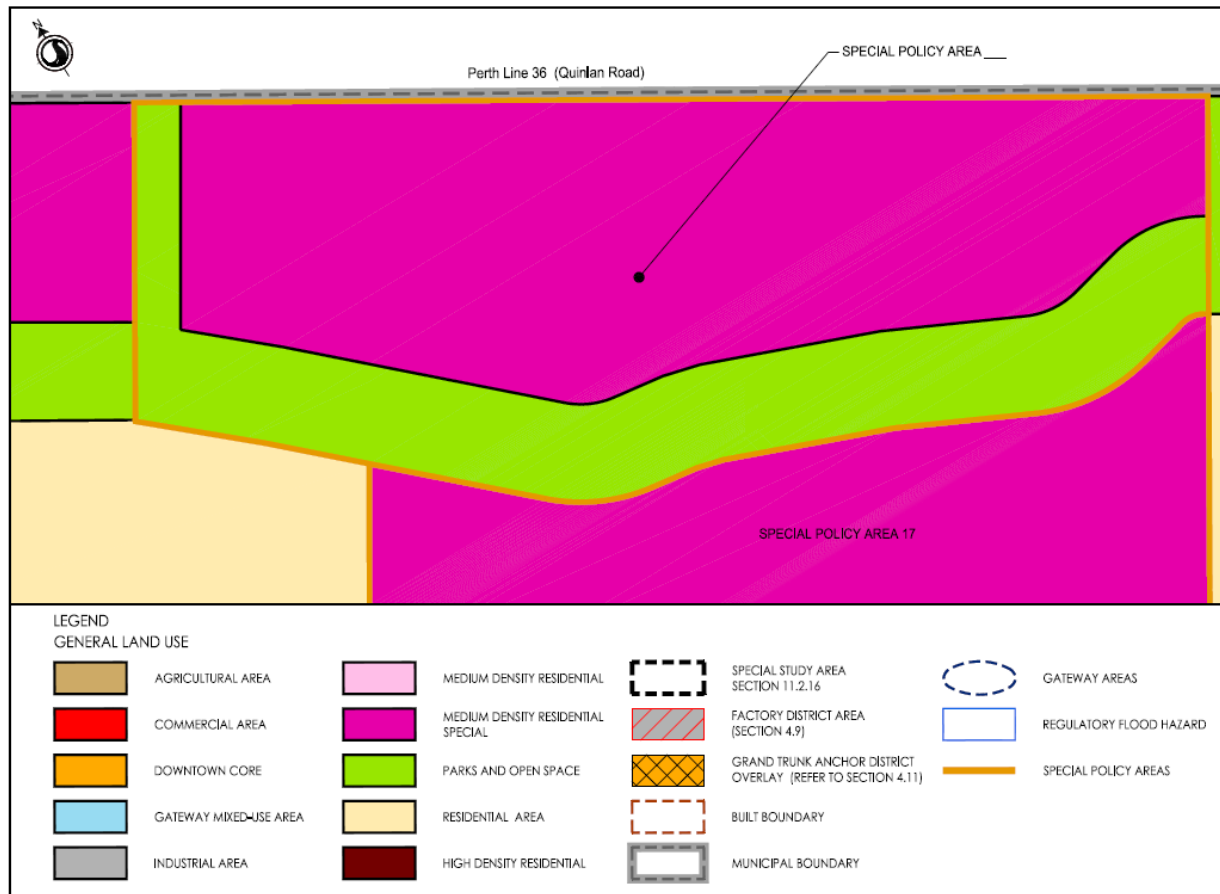
The Residential Area policies allow for a range of dwelling types from single detached and semi-detached dwellings to townhouses and low-rise apartment buildings. Some secondary uses are also allowed in the Residential Area designation including convenience commercial uses, home occupations and public uses. The density range for lands designated 'Residential Area' is between 12 and 65 units per net hectare.

The permitted uses on lands designated 'Medium Density Residential Area' are townhouses, quadraplexes and apartment type residential uses with a minimum and maximum residential density of between 30 and 100 units per hectare.

A portion of the lands are comprised as Flooding and Erosion Hazards within the Upper Thames River Conservation Area regulation limit. The proposed amendment is intended to update and relocate the Regulatory Flood Limit to align with the proposed works to the McNamara drain that have been designed in accordance with the Court and McNamara Drain Master Drainage Plan.

The Official Plan Amendment application has requested to re-designate the subject lands to Medium Density Residential Area – Special and Park and Open Space to allow for additional residential uses including single detached, semi-detached, townhouse, apartment and back-to-back townhouse dwelling units with a minimum density of 16 units per hectare and a maximum density of 100 units per hectare. The amendment also proposes a maximum height of 6 storeys for apartment dwellings and 4 storeys for all other residential uses.

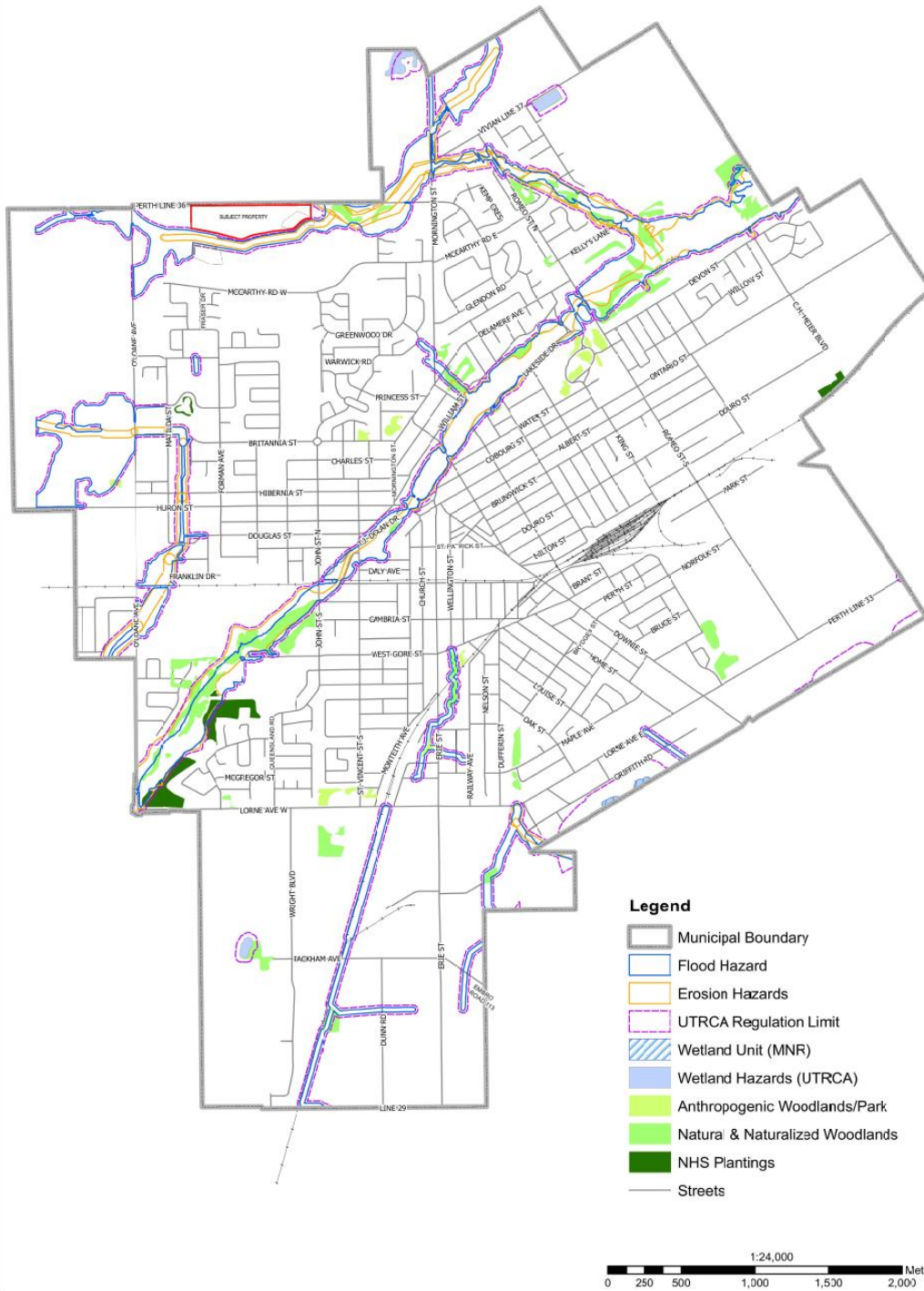
Proposed Official Plan Amendment Schedule A



The amendment also proposes to alter the 'Regulatory Flood Hazard' and the 'Parks and Open Space' boundaries.

Proposed Official Plan Amendment Schedule B

CITY OF STRATFORD OFFICIAL PLAN
SCHEDULE B
NATURAL HERITAGE AND NATURAL HAZARDS
APPROVED JULY 21, 2016
CONSOLIDATED MAY 1, 2019



Residential Areas

The OP contains a series of Goals and Objectives for land located within the Residential Area designation. These are contained in Section 4.5.1 of the OP and are as follows:

- i. "To maintain in all residential areas the essential neighbourhood qualities of quiet enjoyment, privacy, upkeep, public health and safety and basic municipal services.
- ii. To ensure that where intensification of development is proposed in residential areas, it is compatible in terms of scale, density and design with neighbouring development and adheres to sound planning principles related to servicing, traffic, site design and amenities, provided there is sufficient capacity in the City's municipal services to accommodate that development.
- iii. To achieve a mix of housing types and a minimum average density of housing in the development of new residential areas in order to provide diversity in the housing stock, more *affordable* housing opportunities and a more efficient investment and ongoing maintenance of municipal services and facilities."

The Official Plan Amendment and Zoning By-law amendment will provide for the future of development of the subject land in a manner that contributes to the achievement of a broad mix of housing types, which will provide diversity in the City's housing stock. In addition, the subject applications will provide for development that will meet the minimum and maximum density requirements of the Official Plan providing for a more compact development and efficient investment and ongoing maintenance of municipal services and facilities.

The subject lands are considered new residential lands. Section 4.5.3.2 of the Official Plan sets out a policy framework to guide the development of new residential areas. Specifically, Section 4.5.3.2 states that:

"In new residential areas, applications for development shall be evaluated against their conformity with all other applicable policies of the Official Plan and the following criteria:

- i) mix of development forms and densities;
- ii) medium density residential uses are encouraged and shall be:
 - a) intermixed with low density development in smaller groups;
 - b) primarily street oriented in design; and

- c) located ***adjacent*** to collector and arterial roads, park and greenland areas, community facilities and commercial areas and/or as a physical transition between high and low density residential development.
- iii) the road pattern is modified, rectilinear grid pattern which provides for the maximum possible degree of connectivity internally, and externally with the existing developed areas and abutting arterial and collector roads with short blocks to promote active transportation modes; and
- iv) the development incorporates linkages to the City's parks and open space system and/or incorporates private or public open space features which serve as focal points for the residential development and/or structural elements which define the character and structure of the area."

The Official Plan Amendment and Zoning By-law amendments requested will provide for the development of the subject lands with a mix of residential development forms and densities that are primarily street oriented in design conforming with the Official Plan. Through the future Site Plan and Draft Plan of Condominium applications, the developer will be required to provide a site design that provides for both internal and external connectivity to promote active transportation and linkages to the City's parks and open space system.

The Official Plan limits height within new residential areas a maximum of four storeys and permits up to six storeys in high density residential areas. The Official Plan Amendment has requested a Medium Density Residential – Special designation that would allow a maximum height of six storeys for apartment buildings. Since this is a new residential area, a height of six storeys for apartment dwellings will not create compatibility issues with abutting uses. Any proposed apartment dwellings will be subject to site plan control where items such as site design, access, elevations, screening, massing will be reviewed to ensure compliance with the City's Urban Design Guidelines and Official Plan policies.

The subject land is also located within the Stratford West Secondary Plan Area and policies to guide the development of land within this secondary plan area are contained in Section 11.2 of the Official Plan. The requested Official Plan Amendment aligns with the vision for this area as set out in the secondary plan through the provision of medium and low density housing forms within the density ranges contemplated by the secondary plan policies.

A portion of the lands are comprised as Flooding and Erosion Hazards within the Upper Thames River Conservation Area regulation limit. The proposed amendment is intended to update and relocate the Regulatory Flood Limit to align with the proposed drainage that will be designed in accordance with the Court and McNamara Drain Master Drainage Plan.

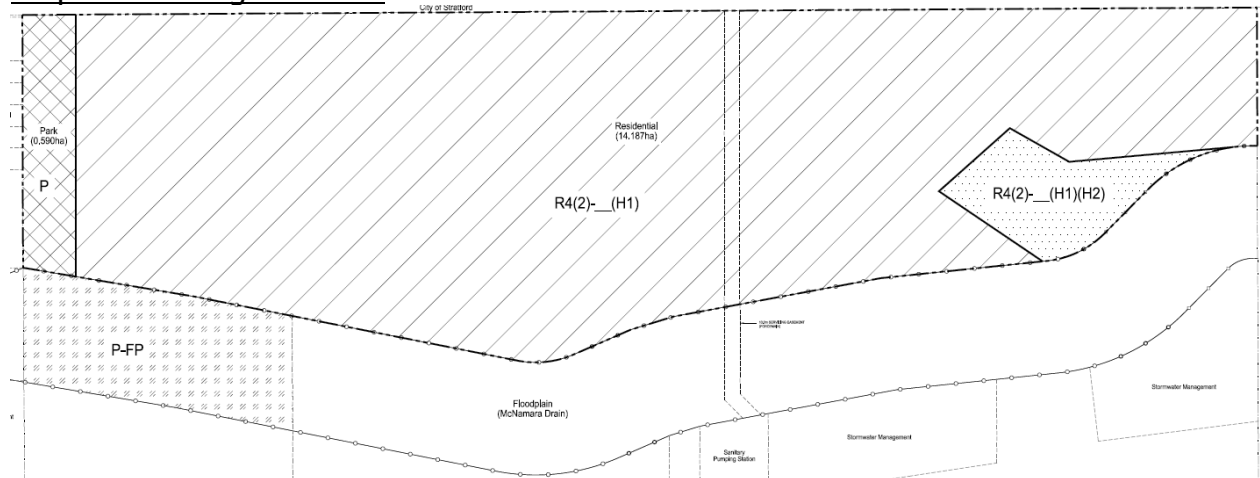
The requested Official Plan Amendment conforms with the City of Stratford Official Plan.

Zoning By-Law

The lands are zoned Agriculture (A) Zone in the Township of Perth East Zoning By-law which permits farm uses on a lot with a minimum area of 30 hectares, home occupation, a bed and breakfast, airfield, kennel, limited existing uses, conservation, forestry, recreational trails, aggregate operations and accessory uses.

The Zoning By-law Amendment application is seeking to rezone a portion of the subject lands to a Residential Fourth Density (R4-2) zone with site specific provisions, a portion of the subject lands as Park and a portion as Floodplain.

Proposed Zoning Schedule



Residential Fourth Density

The R4-2 zoning provisions have been structured in a manner that will facilitate the future development of the lands through a Phase Standard Condominium. Through this type of future condominium application, blocks and lots are not created. As a result, the zoning provisions have been structured to measure setbacks between building walls, rather than lot lines, to ensure that appropriate development standards are implemented.

The R4-2 site specific zone requested would permit cluster housing, single detached, semi-detached, triplex, townhouse dwellings, stacked townhouse dwelling, back-to-back townhouse dwelling and apartment dwellings. The following general use regulations are requested and are structured to function as interior side yard setbacks, exterior side

yard setbacks, lot coverage, landscaped open space do in the lands immediately to the south.

Residential Fourth Density R4(2)-XX

Regulations	Cluster townhouse housing, single detached, semi-detached, triplex, street townhouse dwelling, townhouse dwelling, back-to-back townhouse dwelling, stacked townhouse dwelling	Apartment dwellings
Setback from a Collector Road and an Arterial Road	7.5 metres	7.5 metres

Setbacks:

Regulations	Cluster townhouse housing, single detached, semi-detached, triplex, street townhouse dwelling, townhouse dwelling, back-to-back townhouse dwelling, stacked townhouse dwelling	Apartment dwellings
Between a Building ⁶ and a Road, in which primary vehicular access to a dwelling is provided ¹	6.0 metres	6.0 metres
Between a Building ⁶ and a Road, in which no vehicular access is provided	4.5 metres	5.0 metres
Between Building ⁶ Walls with No Windows	3.0 metres	5.0 metres
Between Building ⁶ Walls with Windows to Non-Habitable Rooms	3.0 metres	10.0 metres
Between Building ⁶ Walls with Windows to Habitable Rooms	12.0 metres, provided that where the building walls are side walls and do not constitute a rear yard	15.0 metres

	amenity area, a minimum of 4 metres is required	
Between a Building ⁶ with Windows to a habitable room and Publicly Owned Lands	6.0 metres	6.0 metres
Between a Building ⁶ with window to non-habitable rooms and Publicly Owned Lands	1.5 metres	5.0 metres ⁷
Maximum Height	12.0 metres ²	22.0 metres or 6 storeys, whichever is lesser
Minimum Density	16 units per hectare ³	16 units per hectare ³
Maximum Density	65 units per hectare ³	100 units per hectare ³
Maximum Lot Coverage	30% ³	35% ³
Off-Street Parking	1.5 spaces per dwelling unit ⁵	1.25 parking spaces per dwelling unit ⁴
Minimum Landscaped Open Space	30% ³	30% ³
Minimum Site Triangle	10 metres by 10 metres at an intersection of a collector/arterial road to a Road	10 metres by 10 metres at an intersection of a collector/arterial road to a Road

1. "Road" – shall mean a highway as defined in the Municipal Act which has been assumed for public use and is being maintained by the Municipality and/or includes a roadway that forms part of the common elements of a condominium plan if such roadway provides vehicular access to and from a highway as defined in the Municipal Act which has been assumed for public use and is being maintained by the Municipality and/or a private road subject to Site Plan Approval and a Site Plan Agreement.
2. Back-to-back townhouses and stacked townhouses are permitted to have a maximum height of 13.5 metres.
3. Minimum and maximum density as well as minimum landscaped open space, maximum lot coverage will be calculated based on total land area that is subject to Site Plan Approval under the *Planning Act*.
4. 0.25 of the required parking spaces per dwelling unit shall be designated as visitor parking.
5. Tandem parking (up to a maximum of 2 vehicles) in a driveway, accessory to a cluster townhouse dwelling unit, shall be permitted.
6. Where a wall is a common wall, the setback shall be 0 metres
7. Or half the height of the building, whichever is greater

8. Any attached or detached garage shall not exceed sixty (60) per cent of the width of the front building elevation of a dwelling unit (measured from inside face of outside wall or common wall to inside face of outside wall or common wall).

The subject lands will have access to full municipal water and sanitary services, however, in accordance with information provided in the Class EA for the Quinlan Pumping Station, based on the size of the subject lands, servicing will only be for a maximum of 392 dwelling units. The applicant has asked for a 'Medium Density Residential- Special Policy Area' designation that would permit a density of 16-100 units per hectare. Section 9.2.4 of the Official Plan sets out the situations where a Holding Provision can be utilized. This includes application of a Holding Provision where the lands are deemed appropriate for development, but that the provision of sewer and/or waters services have not yet been resolved. A Holding Provision is recommended over the subject lands to limit the total number of residential units to 392 until future servicing constraints has been addressed.

A portion of the lands proposed for development is located within the existing floodplain. Work is currently underway within the McNamara drain that will have the effect of altering the floodplain to allow for the development of these lands. It is recommended that an additional Holding Provision be applied to lands within the existing floodplain to prevent any buildings or structures on these lands until the works to the McNamara Drain and floodplain have been completed and accepted by the City.

Park – Flood Plain

The applicant is proposing to zone the McNamara Drain a Park- Flood Plain (P-FP) zone. The Park zone permits an auditorium, cemetery, golf course, park, private club, private club, public use, recreational park and a theatre. In accordance with Section 4.7.2 of the Zoning By-law, these lands are proposed to include the flood plain zoning to identify that they are below the regulatory flood line and subject to the requirements of the Upper Thames River Conservation Authority with respect to the erection of buildings and structures.

Park Zone

The park lands are proposed to be zoned Park. The Park zone permits an auditorium, cemetery, golf course, park, private club, private club, public use, recreational park and a theatre. Within the Park zone, a public use and recreational park are permitted uses.

Subject to the proposed Holding Provisions the requested zones are appropriate for the subject lands and are consistent with the general intent of the Zoning By-law.

Financial Implications:

Other: Development charges are applicable for the future dwellings built on the subject lands. The amount will vary, depending on the overall number of units constructed and the type of unit constructed.

Alignment with Strategic Priorities:

Strengthening our Plans, Strategies and Partnerships

Partnering with the community to make plans for our collective priorities in arts, culture, heritage and more. Communicating clearly with the public around our plans and activities.

Widening our Economic Opportunities

Strengthening Stratford's economy by developing, attracting and retaining a diversity of businesses and talent.

Alignment with One Planet Principles:

Health and Happiness

Encouraging active, social, meaningful lives to promote good health and wellbeing.

Equity and Local Economy

Creating safe, equitable places to live and work which support local prosperity and international fair trade.

Land and Nature

Protecting and restoring land for the benefit of people and wildlife.

Sustainable Water

Using water efficiently, protecting local water resources and reducing flooding and drought.

Travel and Transport

Reducing the need to travel, encouraging walking, cycling and low carbon transport.

Staff Recommendation:

Official Plan Amendment:

THAT the application OP01-21 to amend the Official Plan designation on the subject lands by amending Schedule "A" to a 'Medium Density Residential Area-Special' designation to permit a range of residential uses at a density of 16-100 units per net hectare; permit a maximum height of 6 storeys for apartment dwellings and 4 storeys for other residential uses; to designate a portion of the lands 'Parks and Open Space'; and to alter the 'Regulatory Flood Hazard' limit and to amend Schedule "B" by altering the 'Regulatory Flood Hazard' limit, and UTRCA Regulation limit BE APPROVED.

Zoning By-law Amendment:

THAT the application Z01-21 to amend the zoning on the subject lands from Agriculture in the Township of Perth East Zoning By-law 30-1999 to:

- **Residential Fourth Density R4(2)-XX(H1) and a Residential Fourth Density R4(2)-XX(H1)(H2) zone that permits cluster townhouse dwellings, single detached, semi-detached, townhouses, triplex dwellings, back-to-back townhouses, and stacked townhouses and apartment dwelling units with two sets of site specific regulations (one for apartment dwellings and the other for all other permitted uses), height, minimum and maximum density, parking, setbacks from public roads, lot coverage, landscaped open space, and setbacks,**
- **Park (P) zone that permits auditorium, cemetery, golf course, park, private club, private club, public use, recreational park and a theatre,**
- **Park- Floodplain (P-FP) zone that permits auditorium, cemetery, golf course, park, private club, private club, public use, recreational park and a theatre. These lands are below the regulatory flood line and subject to the requirements of the Upper Thames River Conservation Authority with respect to the erection of buildings and structures,**

Be APPROVED.

Approval of the Official Plan Amendment and Zoning By-law Amendment is recommended because:

- I. public interest was considered;**
- II. the request is consistent with the Provincial Policy Statement;**
- III. the request is consistent with the goals and objectives of the Official Plan;**
- IV. the recommended zone change will facilitate development that is appropriate for the lands, will not impact surrounding lands and is considered to be sound land use planning;**
- V. it will provide a wide range of housing to meet the needs of the existing and future residents and**
- VI. the recommended zone change will encourage efficient use of land and planned infrastructure.**

Prepared by:

Recommended by:

Alyssa Bridge, MCIP, RPP, Manager of Planning
Taylor Crinklaw, Director of Infrastructure and
Development Services
Joan Thomson, Chief Administrative Officer

City of Stratford

Official Plan Amendment No. _

Section 1 – Title and Components

This amendment shall be referred to as Amendment No. ___ to the Official Plan of the City of Stratford. Sections 1 to 4 constitute background information and are not part of the formal Amendment. Section 5 constitutes the formally adopted Amendment to the Official Plan.

Section 2 – Purpose of the Amendment

The purpose of this amendment is to redesignate the Subject Lands from "Residential Area", "Parks and Open Space", "Regulatory Flood Hazard" and "Medium Density Residential" to "Parks and Open Space" and the following:

1. "Medium Density Residential" with a Special Policy Area that:
 - a. Permits a range of low and medium density residential uses, including: single detached; semi-detached; townhouse dwellings; apartment type dwellings; back-to-back and stacked townhouses; and,
 - b. Permits a minimum and maximum residential density of between 16 and 100 units per net hectare for each Phase in the Subdivision.
 - c. Permit a maximum residential height of 4 storeys, except for apartment dwellings which are permitted to a maximum of 6 storeys.

The amendment will also update Schedule A to relocate the proposed Regulatory Flood Hazard Limit and Schedule "B" to relocate the Flood Hazard Erosion Hazard and UTRCA Regulation Limit from their current locations to match the proposed drainage course, per the Court and McNamara Drain Master Drainage Plan.

Section 3 – Location

The Subject Lands are located in the northwest area of the City of Stratford, north of the McNamara Drain with frontage along Perth Line 36. The Subject Lands have a total area of approximately 14.78 hectares.

Section 4 – Basis of Amendment

The City of Stratford completed their new comprehensive Official Plan update through Amendment No. 21 ("OPA 21"). OPA 21 came into effect August 11th, 2016.

Prior to the approval of the updated Official Plan (OPA 21), the City of Stratford completed a Secondary Planning Process for the Stratford West Secondary Plan Area. The Secondary Plan was approved through OPA 16 of the previous Official Plan and was incorporated into the updated plan through OPA 21. Policies in Section 11 of the Official Plan state that the Stratford West community is one of the primary areas to accommodate new residential growth in the City of Stratford.

Land uses in Stratford West Secondary Plan are to be predominately low density residential, although a "Medium Density Residential" designation was imposed in areas to ensure a minimum residential density of between 30 to 100 units per hectare was achieved in those areas.

The Subject lands are proposed to be redesignated as Parks and Open Space and Medium Density Residential within a Special Policy Area which requires a minimum

density of 16 to 100 units per net hectare. Although the minimum density has been reduced from the Medium Density Residential designation, the minimum number of units that can be developed will be slightly higher than the minimum number of units that could have been developed under the previous Medium Density and Residential Area designations combined.

In addition to land use changes, modifications are underway to the McNamara Drain to permit the development of the subject lands. This change requires modification to the Regulatory Flood Hazard line shown on Schedule "A" of the Official Plan as well as to the Flood Hazard, and UTRCA Regulation Limits shown on Schedule "B" of the Official Plan. The outline of each feature has been determined by location of the drainage course provided in the Court and McNamara Drain Master Drainage Plan.

The Stratford West Community will become a significant residential neighbourhood, well designed to promote a high quality of life for existing and future residents. The proposed Official Plan Amendment rearranges the potential density and natural hazard features, while maintaining the planning policy framework of the West Stratford Secondary Plan.

The proposed Official Plan Amendment is consistent the 2020 Provincial Policy Statement. The proposed Official Plan Amendment also conforms to the City of Stratford Official Plan.

Section 5 – The Amendment

The Official Plan of the City of Stratford is amended as follows:

1. By adding the following new Section 11.2.20 to the Official Plan:

"Notwithstanding the uses permitted in the Medium Density Residential designation, within Special Policy Area __, the following additional residential uses shall be permitted: single detached; semi-detached; townhouse dwellings; apartment type dwellings; triplex dwellings; back-to-back and stacked townhouses"

2. By also adding the following new Section 11.2.20 to the Official Plan:

"Notwithstanding the density provided in the Medium Density Residential designation, within Special Policy Area __ the following residential densities shall apply:

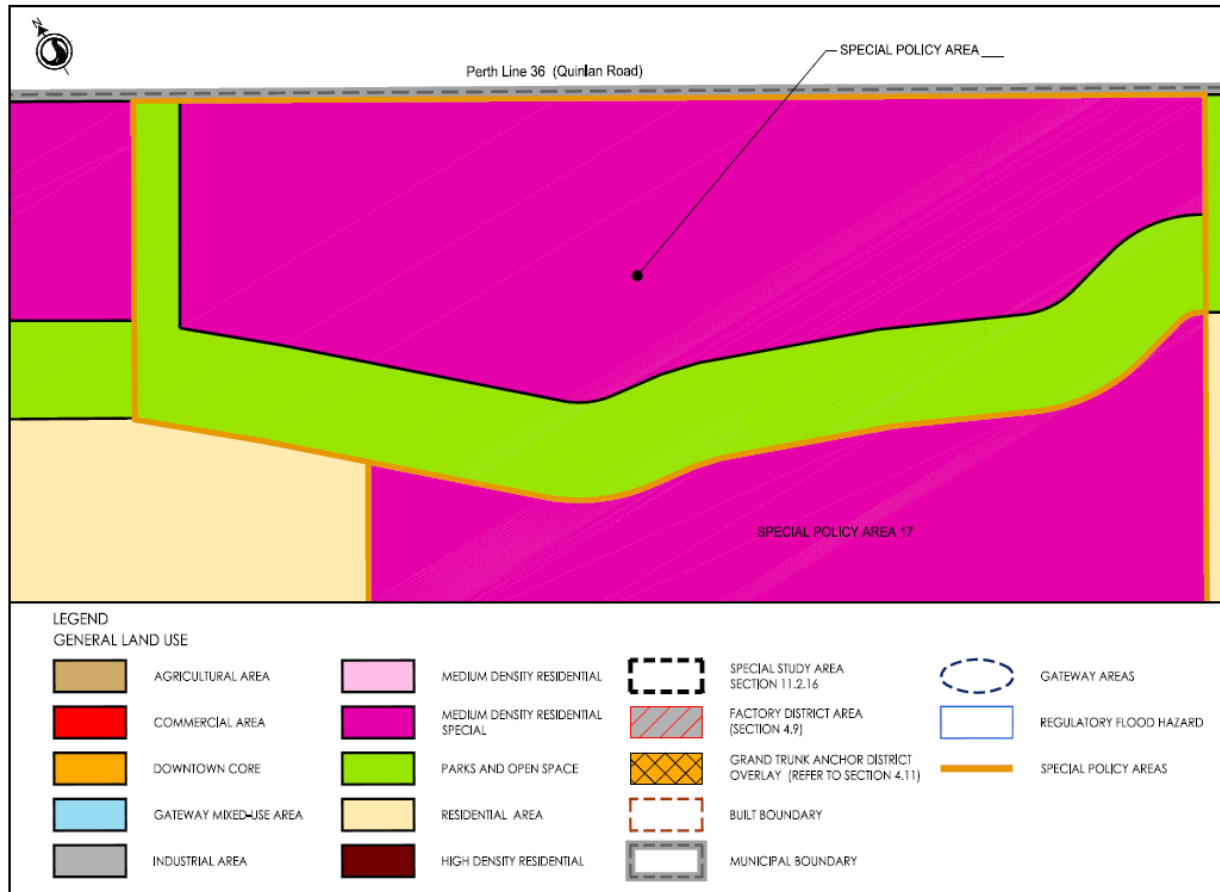
- a. A minimum density of 16 units per net hectare and a maximum density of 100 units per net hectare.

"Notwithstanding the height provided in section 4.5.3.4 within the Medium Density Residential designation, within Special Policy Area __ the following residential heights shall apply:

- a. A maximum height of 6 storeys for apartment dwellings; and
- b. A maximum height of 4 storeys for all other residential uses.

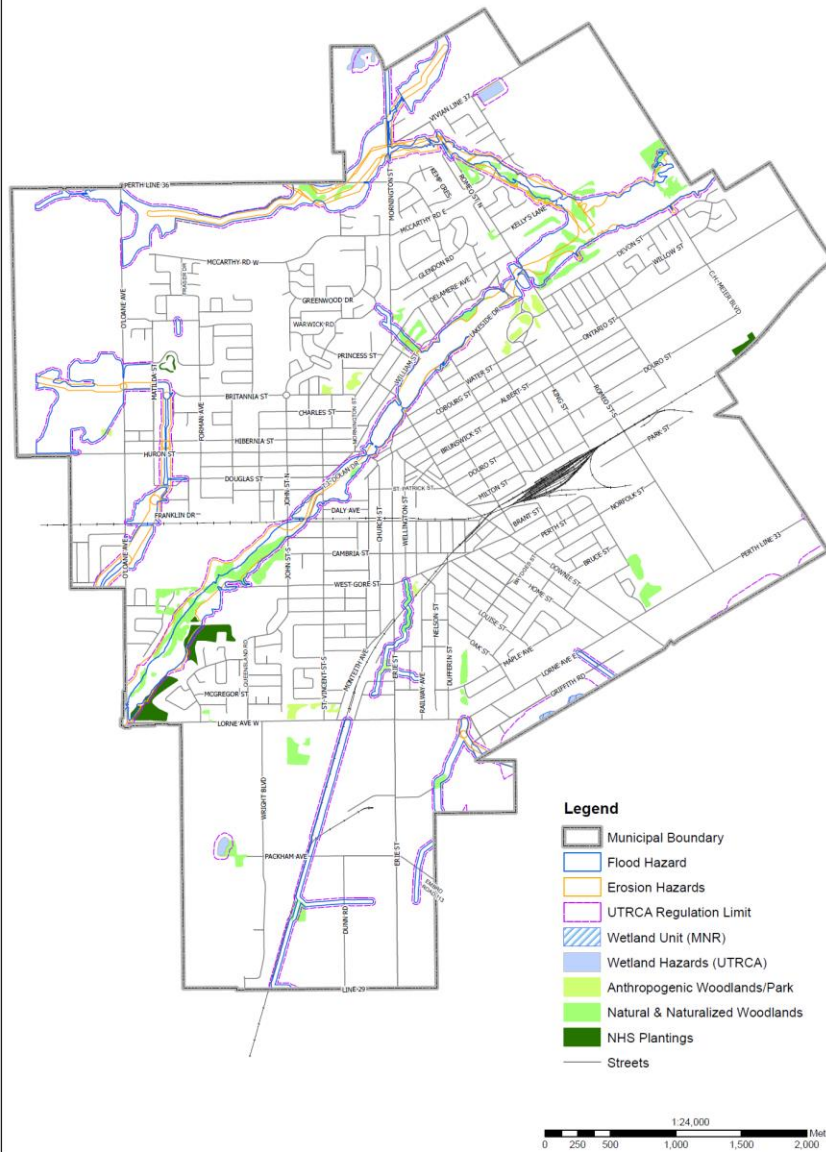
3. By amending Schedule "A", General Land Use Plan and Schedule "B", Natural Heritage and Natural Hazards and replacing them with the revised Schedule "A", General Land Use Plan and Schedule "B", Natural Heritage and Natural Hazards, which are attached and form part of this amendment.

Schedule "A"
To Official Plan Amendment No. _____



Schedule "B"
To Official Plan Amendment No. _____

CITY OF STRATFORD OFFICIAL PLAN
SCHEDULE B
NATURAL HERITAGE AND NATURAL HAZARDS
APPROVED JULY 21, 2016
CONSOLIDATED MAY 1, 2019



Being a By-law to amend Zoning By-law 201-2000 as amended, with respect to Zone Change Application Z01-21 to rezone part of Part Lots 3 and 4, Concession 2, (Geographic Township of Ellice), City of Stratford to a Residential Fourth Density R4(2) zone with site specific regulations

WHEREAS authority is given to the Council of The Corporation of the City of Stratford by Section 34 of the Planning Act, R.S.O. 1990, c.P.13, as amended, to pass this by-law;

AND WHEREAS the said Council has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act;

AND WHEREAS the Council of The Corporation of the City of Stratford deems it in the public interest that By-law 201-2000, as amended, known as the Zoning By-law, be further amended;

NOW THEREFORE BE IT ENACTED by the Council of The Corporation of the City of Stratford as follows:

1. That Schedule A, Map 2a to Zoning By-law 201-2000 as amended, is hereby amended:

By changing from Agriculture to a Residential Fourth Density with site specific regulations R4(2)-XX(H1), R4(2)-XX(H1)(H2), Park (P) and Park Floodplain (P-FP) on Schedule "A", attached hereto and forming part of this By-law, outlined in heavy lines and described as and more particularly described as part of Part Lots 3 and 4, Concession 2, (Geographic Township of Ellice), City of Stratford

2. The Township of Perth East Zoning By-law 30-1999 as it applies to the subject lands on Schedule "A" is hereby repealed.
3. That Zoning By-law 201-2001 as amended, be further amended by adding Section 8.4._, being Exceptions of Residential Fourth Density R4(2) Zone, the following:

"8.4_

- Defined Area (Northwest Stratford, north of the McNamara Drain) R4(2)-XX(H1) and R4(2)-XX(H1)(H2) as shown on Schedule "A"
- Permitted Uses
Cluster housing, single detached, semi-detached, triplex, townhouse dwelling, back-to-back townhouse dwelling, stacked townhouse dwelling and apartment dwellings

- General Use Regulations
In accordance with Table 8-3

Table 8-3
Residential Fourth Density R4(2)-XX(H)

Regulations	Cluster townhouse dwelling, single detached, semi-detached, triplex, street townhouse dwelling, townhouse dwelling, back-to-back townhouse dwelling, stacked townhouse dwelling	Apartment dwellings
Setback from a Collector Road and an Arterial Road	7.5 metres	7.5 metres

Setbacks:

Regulations	Cluster townhouse dwelling, single detached, semi-detached, triplex, street townhouse dwelling, townhouse dwelling, back-to-back townhouse dwelling, stacked townhouse dwelling	Apartment dwellings
Between a Building ⁶ and a Road, in which primary vehicular access to a dwelling is provided ¹	6.0 metres	6.0 metres
Between a Building ⁶ and a Road, in which no vehicular access is provided	4.5 metres	5.0 metres

Between Building ⁶ Walls with No Windows	3.0 metres	5.0 metres ⁷
Between Building ⁶ Walls with Windows to Non-Habitable Rooms	3.0 metres	10.0 metres
Between Building ⁶ Walls with Windows to Habitable Rooms	12.0 metres, provided that where the building walls are side walls and do not constitute a rear yard amenity area, a minimum of 4 metres is required	15.0 metres
Between a Building ⁶ with Windows to a habitable room and Publicly Owned Lands	6.0 metres	6.0 metres
Between a Building ⁶ with window to non-habitable rooms and Publicly Owned Lands	1.5 metres	5.0 metres
Maximum Height	12.0 metres ²	22.0 metres or 6 storeys, whichever is lesser
Minimum Density	16 units per hectare ³	16 units per hectare ³
Maximum Density	65 units per hectare ³	100 units per hectare ³
Maximum Lot Coverage	30% ³	35% ³
Off-Street Parking	1.5 spaces per dwelling unit ⁵	1.25 parking spaces per dwelling unit ⁴
Minimum Landscaped Open Space	30% ³	30% ³
Minimum Site Triangle	10 metres by 10 metres at an intersection of a collector/arterial road to a Road	10 metres by 10 metres at an intersection of a collector/arterial road to a Road

9. "Road" – shall mean a highway as defined in the Municipal Act which has been assumed for public use and is being maintained by the Municipality and/or includes a roadway that forms part of the common elements of a condominium plan if such roadway provides vehicular access to and from a highway as defined in the Municipal Act which has been assumed for public use and is being maintained by the Municipality and/or a private road subject to Site Plan Approval and a Site Plan Agreement.
10. Back-to-back townhouses and stacked townhouses are permitted to have a maximum height of 13.5 metres.
11. Minimum and maximum density as well as minimum landscaped open space, maximum lot coverage will be calculated based on total land area that is subject to Site Plan Approval under the *Planning Act*.
12. 0.25 of the required parking spaces per dwelling unit shall be designated as visitor parking.
13. Tandem parking (up to a maximum of 2 vehicles) in a driveway, accessory to a cluster townhouse dwelling unit, shall be permitted.
14. Except that no setback shall be required on the side where individual townhouse dwellings units or individual dwelling units of a semi-detached dwelling are attached together by a common wall extending along the side lot line separating such lots, provided that any direct extension therefor shall be setback not less than 3.0 metres from the building wall.
15. Or half the height of the building, whichever is greater.
16. Any attached or detached garage shall not exceed sixty (60) per cent of the width of the front building elevation of a dwelling unit (measured from inside face of outside wall or common wall to inside face of outside wall or common wall).

d) Holding Provision

- The holding provision (H1) shall apply to the lands zoned R4(2)-XX(H1) and R4(2)-XX(H1)(H2) as outlined by Schedule "A", hereto.
- Until such time as the (H1) is removed, a maximum of 392 dwelling units are permitted on the lands zoned R4(2)-XX(H1) and R4(2)-XX(H1)(H2). The (H1) shall not be removed until servicing has been addressed to the satisfaction of the City of Stratford Engineering Division for the lands outlined in Schedule "A" hereto.
- The holding provision (H2) shall apply to the lands zoned R4(2)-XX(H1)(H2) as outlined on Schedule "A". hereto.
- Until such time as the (H2) is removed, no buildings or structures are permitted on lands zoned R4(2)-XX(H1)(H2) until the works have been completed and accepted to the floodplain to the satisfaction of the City of Stratford Engineering Division for the lands outlined in Schedule "A" hereto.

4. This By-law shall come into effect upon Final Passage and in accordance with the Planning Act.

Read a FIRST, SECOND and THIRD TIME AND

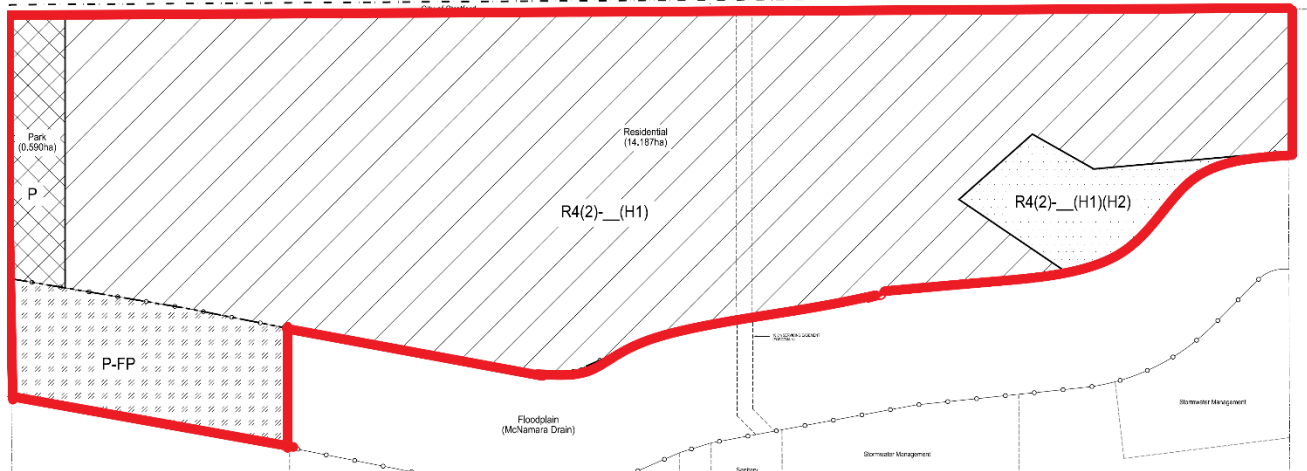
FINALLY PASSED this the xxth day of xxxxx, 2022.

Mayor – Daniel B. Mathieson

City Clerk – Tatiana Dafoe

Schedule A to By-law XX-2021
Adopted this ____ day of ____, 2021

4117 Perth Line 36





MANAGEMENT REPORT

Date: January 11, 2022
To: Social Services Sub-committee
From: Darren Barkhouse, Manager of Children's Services
 Kim McElroy, Director of Social Services
Report#: SOC22-002
Attachments: None

Title: Information on Workforce Funding for Child Care and Early Years

Objective: To provide Council with an update on the recently announced Federal funding to support the recruitment and retention of qualified Registered Early Childhood Educators (RECEs)

Background: The Federal Government of Canada has provided the Province of Ontario, \$147 million through a one-time Workforce Fund that is aimed at helping support the overwhelming shortage of qualified RECEs in the child care and early years system across the Province. Each of the 47 Consolidated Municipal Service Managers (CMSMs) reporting through the Province have been provided an allocation based on current capacity, with the City of Stratford receiving \$450,287 for 2022, and an additional \$120,000 for the first quarter of 2023. The Ministry has provided spending guidelines and stipulations to adhere to, most specifically being these funds cannot be used for any sort of compensation or financial gain for employees. Each CMSM submitted a two-page proposal for the use of their allocation on December 10th, 2021.

Analysis: Currently, the CMSM is approximately 80 full time RECEs short of obtaining full license capacity across all child care centres, before and after school programs, and EarlyON Children and Family Centres. While some of this figure is tied to the impacts of Covid-19, the vast majority is due to a shortage of RECEs in our area (and across Ontario) and the pressure that comes with keeping current staff in the industry due to low wages and benefits. We are optimistic that we will be back to pre-pandemic capacity by the end of 2022 and into early 2023, however this hinges solely on our ability to secure a long-term plan for the staffing shortages plaguing the field. Upon consultation with our service providers, we have identified several strategies and opportunities that align with Ministry mandates, including mental health support and resources, increased awareness for professional learning, supporting diversity and inclusion, sustainable work practices, and access to up-to-date technology and virtual

supports. As we plan out the next 15 months into early 2023, we hope to support our current and future educators equally and responsibly while adhering to Ministry objectives.

Financial Implications:

Financial impact to current year operating budget:

The Workforce Funding (\$450,287) is provided 100% by the Federal Government and distributed by the Province of Ontario. There are no financial obligations by the City of Stratford aside from staff time to work on rolling out all initiatives attached to this funding line.

Financial impact on future year operating budget:

The Workforce funding continues into the first quarter of 2023, with an additional \$120,000 committed.

Alignment with Strategic Priorities:

Strengthening our Plans, Strategies and Partnerships

Partnering with the community to make plans for our collective priorities in arts, culture, heritage and more. Communicating clearly with the public around our plans and activities.

Developing our Resources

Optimizing Stratford's physical assets and digital resources. Planning a sustainable future for Stratford's resources and environment.

Widening our Economic Opportunities

Strengthening Stratford's economy by developing, attracting, and retaining a diversity of businesses and talent.

Alignment with One Planet Principles:

Health and Happiness

Encouraging active, social, meaningful lives to promote good health and wellbeing.

Equity and Local Economy

Creating safe, equitable places to live and work which support local prosperity and international fair trade.

Culture and Community

Nurturing local identity and heritage, empowering communities, and promoting a culture of sustainable living.

Staff Recommendation: THAT the report titled "Information on Workforce Funding for Child Care and Early Years" (SOC22-002) be received for information.

Prepared by: Darren Barkhouse, Manager of Children's Services
Recommended by: Kim McElroy, Director of Social Services
Joan Thomson, Chief Administrative Officer



MANAGEMENT REPORT

Date: January 11, 2022
To: Social Services Sub-committee
From: Jeneane Fast, Housing Stability Policy and Program Coordinator
 Alex Burgess, Manager of Ontario Works
 Kim McElroy, Director of Social Services
Report#: SOC22-001
Attachments: 2021 Homeless Enumeration Results - Infographic

Title: 2021 Homeless Enumeration Results

Objective: To inform Council of the results of the 2021 homeless enumeration.

Background: To meet a Ministry of Municipal Affairs and Housing (MMAH) requirement, the City of Stratford, as Service Manager for Stratford, Perth County, and St. Marys, conducted a homeless enumeration from November 1 – 10, the methodology of which was outlined in a previous management report (SOC21-010). This report highlights the results of that enumeration.

Analysis: The enumeration gathered population-level data on people experiencing homelessness on the night of October 30. In total, 118 people experiencing homelessness completed the enumeration survey. However, because not every household experiencing homelessness in the area completed a survey during the enumeration timeframe, the actual number of households experiencing homelessness at the end of October according to the By-Name List was 164. Furthermore, while the homeless enumeration offered a snapshot of homelessness on one night, the By-Name List, which is updated monthly, remains the most reliable and accurate source of homelessness data locally.

The following results are based exclusively on the information provided by the 118 survey respondents:

- 63% were provisionally accommodated (in temporary housing situations - transitional housing, staying with friends or family, in provincial institutions such as jail or hospital)
- 69% were experiencing chronic homelessness (experienced homelessness for 6+ months in the previous year)

- 70% were single
- The average age was 38
- 24% identified as being part of a racialized group (including Indigenous)
- 9% identified as LGBTQ2S
- 3% identified as not cisgender
- 2% had past military service
- 86% reported having a mental health issue
- 56% reported having a substance use issue
- 53% reported interpersonal issues as a reason for their loss of housing
- 82% were in receipt of some form of government assistance

For more detailed results, please refer to the attached infographic.

Financial Implications:

Not applicable:

There are no financial implications to be reported as a result of this report.

Alignment with Strategic Priorities:

Strengthening our Plans, Strategies and Partnerships

Partnering with the community to make plans for our collective priorities in arts, culture, heritage and more. Communicating clearly with the public around our plans and activities.

Other

Housing and Homelessness Plan for Stratford, Perth County, and St. Marys (2020-2024)

“Collecting and using reliable, local data to make informed decisions” is one of the four implementation drivers moving the Plan’s strategic objectives forward.

Alignment with One Planet Principles:

Health and Happiness

Encouraging active, social, meaningful lives to promote good health and wellbeing.

Equity and Local Economy

Creating safe, equitable places to live and work which support local prosperity and international fair trade.

Staff Recommendation: THAT the report titled “2021 Homeless Enumeration Results” (SOC22-001) be received for information.

Prepared by: Jeneane Fast, Housing Stability Policy & Program
Coordinator

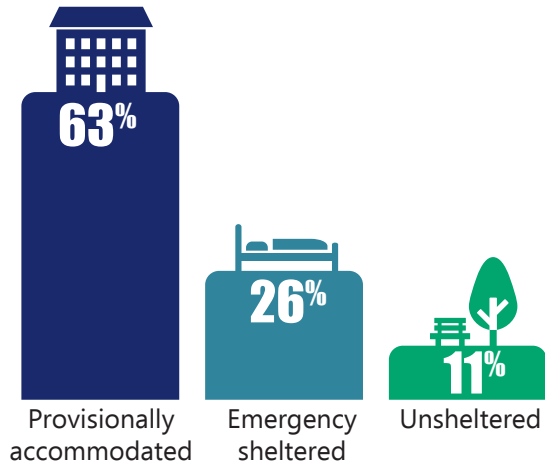
Recommended by: Alex Burgess, Manager of Ontario Works
Kim McElroy, Director of Social Services
Joan Thomson, Chief Administrative Officer

2021 Homeless Enumeration Results

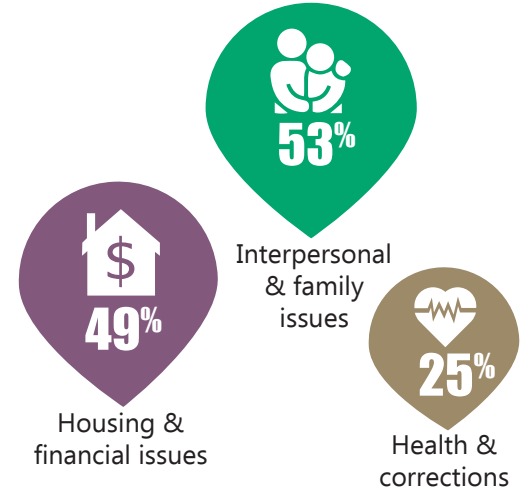
Stratford, Perth County, and St. Marys

Based on 118 survey respondents who were experiencing homelessness on October 30th, 2021

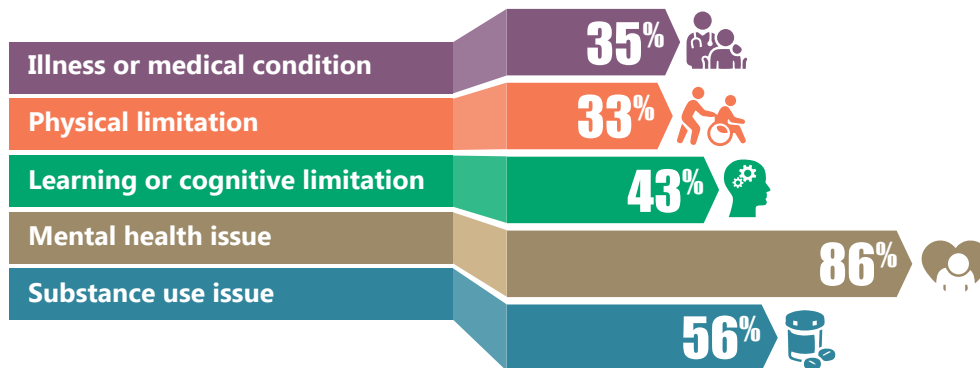
Current Living Situation



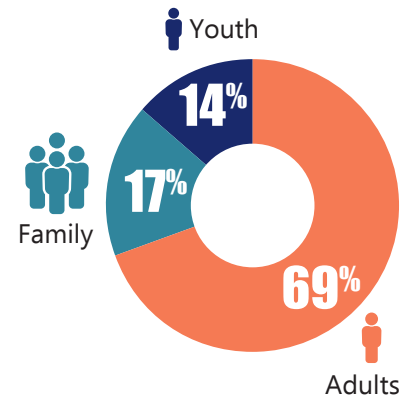
Reasons for Homelessness



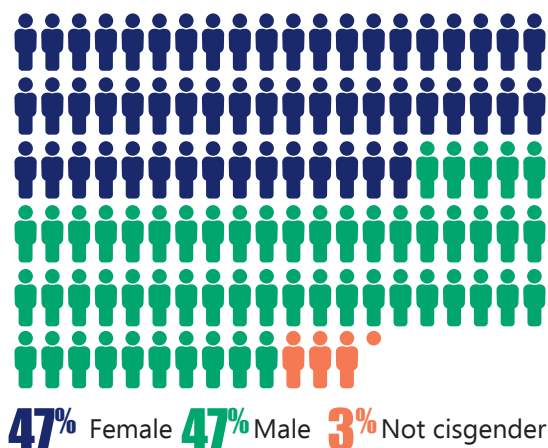
Risk Factors



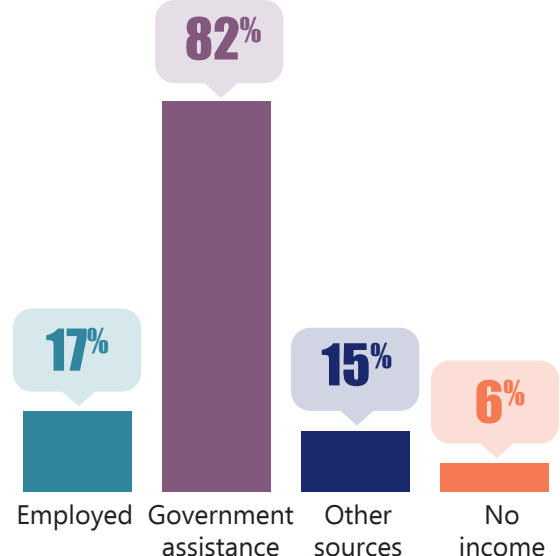
Household Composition



Gender Identity



Sources of Income





MANAGEMENT REPORT

Date: January 11, 2022
To: Social Services Sub-Committee
From: Alex Burgess, Manager of Ontario Works
Kim McElroy, Director of Social Services
Report#: SOC22-003
Attachments: Coordinated Response for those Unsheltered Presentation

Title: Coordinated Response for those Unsheltered

Objective: To provide Council and citizens with information regarding the City of Stratford's coordinated response to unsheltered homelessness.

Background: The City of Stratford Social Services Department is the legislated Consolidated Municipal Service Manager (CMSM) for Stratford, Perth County and St Marys. Part of the responsibilities as CMSM includes the provision of homelessness and housing stability services across the Service Manager catchment area. As detailed in report SOC21-013, the Social Services Outreach Worker program currently provides street outreach services to the catchment area. The report also details the services that will now be provided through Choices for Change regarding the Housing Focused Street Outreach Program.

The increase in unsheltered homelessness in Stratford and surrounding areas is not isolated to this area, but rather is greatly affecting municipalities across Ontario and Canada. As a member of Built-for-Zero Canada, the City of Stratford and BFZ-C partners are working together to address chronic homelessness across the country and support the most vulnerable citizens who are impacted by the increase in visible and unsheltered homelessness.

The enumeration report being put forth this month provides further details about the current landscape of homelessness in our community. There is work being done by several community agencies to implement a Coordinated Access System which will better align housing resources with the people who need it most. The Coordinated Access System is intended to link all component parts together to form a coordinated community response for those experiencing homelessness and work together to address and remove barriers to permanent housing. The CASLG will develop a community approach to co-ordination and care that includes mapping and leveraging all

the existing resources and expertise to achieve optimal housing placements and supports for those experiencing homelessness in Perth County.

The Coordinated Access Leadership Group (CASLG) is a community partnership which meets monthly and currently has representation from the following agencies:

- Canadian Mental Health Association Huron-Perth
- Choices for Change
- City of Stratford Social Services Department (Co-Chair)
- Emily Murphy Centre
- Huron Perth Public Health
- Huron Perth Healthcare Alliance
- John Howard Society of London & District
- Ontario Provincial Police
- Optimism Place
- Stratford/Perth Shelterlink
- Stratford Police
- United Way Perth/Huron (Co-Chair)
- Community Living – Stratford

Analysis: The Coordinated Response for Unsheltered Homelessness is detailed in the attached presentation and focuses on four primary cornerstones:

- 1) Coordination and Collaboration
- 2) Proactive Outreach and Connection to Services
- 3) Cleaning, Maintenance and Support
- 4) Homelessness Prevention

The coordinated response provides details regarding how to report an individual living unsheltered, what the response will look like and what services are offered.

To report an encampment, please call 519-271-3773 ext. 200 and advise you are reporting an encampment or unsheltered individual. City staff will take the appropriate information including location/address, a physical description of the site, number of individuals or description of individuals at site. Please be advised that due to privacy and confidentiality of citizens in our community, we cannot disclose reasons such as why they may be living unsheltered, what emergency accommodations are available or what are the next steps being taken.

If citizens are wanting to donate to individuals who are experiencing homelessness in our community, please contact the United Way, or a local not-for-profit who works with individuals experiencing homelessness to ask about how you can help.

Financial Implications:

Financial impact to current year operating budget:

The current program being delivered is within the allocated operating budget.

Financial impact on future year operating budget:

Funding for applicable programs is included within the 2022 operating budget.

Other:

Funding for the Choices for Change Housing Focused Street Outreach program was provided through the Social Services Relief Fund, as detailed in report SOC21-013.

Alignment with Strategic Priorities:**Strengthening our Plans, Strategies and Partnerships**

Partnering with the community to make plans for our collective priorities in arts, culture, heritage and more. Communicating clearly with the public around our plans and activities.

Widening our Economic Opportunities

Strengthening Stratford's economy by developing, attracting, and retaining a diversity of businesses and talent.

Other**Housing and Homelessness Plan for Stratford, Perth County, and St. Marys (2020-2024)**

"Collaboration with service providers and community agencies," is one of the four implementation drivers moving the Plan's strategic objectives forward and "Developing coordinated mobile outreach across the Service Manager area," is one of the recommended activities for Strategic Objective #1, Ending Homelessness.

Alignment with One Planet Principles:**Health and Happiness**

Encouraging active, social, meaningful lives to promote good health and wellbeing.

Equity and Local Economy

Creating safe, equitable places to live and work which support local prosperity and international fair trade.

Culture and Community

Nurturing local identity and heritage, empowering communities, and promoting a culture of sustainable living.

Staff Recommendation: THAT the report titled "Coordinated Response for those Unsheltered" (SOC22-003) be received for information.**Prepared by:**

Alex Burgess, Manager of Ontario Works

Recommended by:

Kim McElroy, Director of Social Services

Joan Thomson, Chief Administrative Officer

Coordinated Response for those Unsheltered

City of Stratford – Social Services Department
Social Services Sub-Committee
January 11, 2021

What is Happening?

- There is an increase to unsheltered homelessness across the Service Manager catchment area, including the City of Stratford, Perth County and Town of St Marys.
- Unsheltered homelessness, also known as visible homelessness or sleeping rough, is not only a concern in Stratford, but continues to be a concern across the Province of Ontario.
- The City of Stratford receives Provincial Funding through the Ministry of Municipal Affairs and Housing to provide homelessness and housing stability services.
- Since the onset of COVID-19, the Department has seen an increase in the number of individuals experiencing homelessness, including those who are precariously housed, accessing emergency shelter or those who are unsheltered.

Local Definition of Homelessness

The local definition is adopted from the Canadian Observatory on Homelessness:

Homelessness describes the situation of an individual, family or community without stable, safe, permanent, appropriate housing, or the immediate prospect, means and ability of acquiring it. It is the result of systemic or societal barriers, a lack of affordable and appropriate housing, the individual/household's financial, mental, cognitive, behavioural or physical challenges, and/or racism and discrimination. Most people do not choose to be homeless, and the experience is generally negative, unpleasant, unhealthy, unsafe, stressful and distressing.

Local Definition of Homelessness continued

- Experiences of homelessness are categorized into four typologies including households who are:
 - Unsheltered, or absolutely homeless and living on the streets or in places not intended for human habitation.
 - Emergency sheltered, including those staying in overnight shelters for people who are experiencing homelessness, as well as shelters for those impacted by family violence.
 - Provisionally accommodated, referring to those whose accommodation is temporary or lacks security of tenure. This includes individuals who are staying temporarily with family and/or friends (e.g. "couch surfing"), living in temporary rental accommodations (e.g. motels), or those who currently in an institution (e.g. jail, hospital, rehabilitation centre) and have no place to live upon their release.
 - At risk of homelessness, referring to people who are not homeless, but whose current economic and/ or housing situation is precarious or does not meet public health and safety standards.

In Stratford 1 of 3

- There has been an increase in urban encampments whereby individuals are residing within the downtown core of the City.
- Encampments are also present in more remote areas of the community, often in wooded areas or fields around the City.

In Stratford 2 of 3

- Unsheltered Homelessness is exacerbated by factors such as:
 - Untreated mental illness
 - Increased risks due to substance use
 - Lack of suitable housing options
 - Decreased affordability of private market housing
 - Lack of informal housing options (Couch surfing, room rentals)
 - Difficult behaviours in emergency shelter settings that impact safety of staff and other program participants.

In Stratford 3 of 3

- Unsheltered Homelessness can be problematic in the community due to:
 - Disruptive behaviours
 - Vandalism, excessive garbage and human waste
 - Disruption to or trespassing on private property
 - Urban camping causing a disruption to businesses in the downtown core.

What is being done?

- The Social Services Department operates a housing-focused emergency accommodations program utilizing local motels for individuals and families (age 25+) in need of emergency shelter.
- Shelterlink provides emergency shelter services for youth in need; ages 16-24.
- Social Services Outreach staff do proactive street outreach to individuals sleeping rough as well as responding to information provided by citizens and businesses regarding possible encampments or individuals living unsheltered.
- The Social Services Department has funded Choices for Change to deliver a housing-focused street outreach program to provide increased supports for those unsheltered.

What is being done? Continued

- Encampments and urban camping in the downtown core requires a complex response to ensure the individuals are supported and the voices of concerned business and citizens are heard.
- The coordinated response involves ensuring coordination amongst service providers, proactive outreach and connection of unsheltered individuals to services, cleaning and maintenance of identified encampments and homelessness prevention to ensure residents are supported in safe and suitable accommodations.

What is a Coordinated Response?



City of Stratford Social Services Department

82 Erie Street, Stratford, ON N5A 2M4 • 519-271-3773 ext. 200 • www.stratford.ca



Serving Stratford,
Perth County, and
St. Marys

Our Response to Unsheltered Homelessness

- Coordination involves action and support from:
 - Social Services Department
 - Choices for Change
 - Stratford Police
 - Other City Departments
 - Community Partners and Social Service Agencies

Role of Social Services Department

- The Social Services Department is responsible for coordination of support amongst service providers for individuals sleeping rough. This includes:
 - Homelessness prevention and housing stability services
 - Emergency accommodations program
 - Proactive outreach to unsheltered individuals
 - Provision of basic needs and financial support

Coordination and Collaboration

- Once an encampment or individual sleeping rough is identified, please contact the City of Stratford Social Services Department.
 - Please call 519-271-3773 ext. 200 and advise you are reporting an encampment. City staff will take the appropriate information including location/address, a physical description of the site, number of individuals or description of individuals at site and will request photos (if they are available).
 - Staff will follow-up with the caller if additional details are required or permission to access the location of the encampment is needed.
- Other City departments, Police and partner agencies will provide details regarding active or potential encampments to Social Services to ensure a coordinated and appropriate response.

If there is an immediate safety concern or you feel your safety is being threatened at any time, please contact the Stratford Police or call 911

City of Stratford Social Services Department

82 Erie Street, Stratford, ON N5A 2M4 • 519-271-3773 ext. 200 • www.stratford.ca



Serving Stratford,
Perth County, and
St. Marys

Proactive Outreach + Connection to Services

- Outreach staff complete regular walk-about of known encampment locations to connect with individuals currently living unsheltered. Regularity of visits depends on individual case plan and willingness of individual to engage with Social Services staff.
- When an individual is unsheltered and the Outreach team are made aware, they respond accordingly.
- When made aware of an encampment through any channel (Public complaint, Police contact, Partner agency), Social Services staff map the location/site and either attend within 72 hours of being notified or contact Choices for Change Outreach staff to attend the location.
- When a member of an outreach team attends, they will:
 - Attempt to make contact with the individual residing at the encampment, varying time of day and day of the week if they are unsuccessful with initial contact.

Proactive Outreach + Connection to Services Continued

- Provide a compassionate and caring response, ensuring basic needs are being met, ensuring the individual is connected to the local By-Name List and reviewing eligibility for applicable services. This may include offering available services including emergency accommodations and financial support as well as referrals to community agencies.
- Work collaboratively with community partners, using a housing first approach, to ensure there is an immediate focus on securing permanent housing. This may include a focus on short-term accommodations until permanent housing can be secured.
- Protect and promote the well-being and safety of those unsheltered, members of the public and agency staff.
- Completing regular follow-ups and scheduled meetings with the individual who continues to reside at encampment.

Cleaning, Maintenance and Support

- Outreach staff conduct regular check-ins with individuals living unsheltered and work with them to ensure the encampment is clean and maintenance is maintained.
 - The outreach program is voluntary and while we cannot impose any restrictions related to cleanliness, staff work with the individual to address safety concerns and concerns related to clutter or garbage at the encampment.
- Outreach staff provide necessary supplies and referrals to individuals to ensure they are able to maintain their encampment in a safe and suitable manner.
- Once an encampment is no longer active, there can be concerns around the items and materials left behind. Inactive encampments can be unsafe due to the garbage that is left behind.
- When an encampment is identified as inactive and the individual has secured alternate accommodations, Social Services will work with the individual to remove all belongings.
- If garbage or belongings are left behind, Social Services will contact the applicable City department (IDS or Community Services) to request the encampment be cleaned up within an appropriate timeframe.
 - Social Services will request approval from senior leadership before an encampment clean-up is requested and completed.
- Methods of clean-up used will ensure the health and safety of all staff involved.

Homelessness Prevention

- The Social Services Department, in partnership with community agencies, continue to work toward improved homelessness prevention and housing stability programs. This includes, but is not limited to:
 - Financial assistance to stay in your home (i.e. arrears, short-term housing allowances)
 - Financial assistance to obtain a home (i.e. Last Month's rent, Moving/Furniture expenses)
 - Case management support for individuals facing eviction
 - Referrals to mental health and addictions supports to help stay in your home
 - Referrals to community partners for support with cleaning, hoarding and housekeeping issues

Next Steps

- The Social Services Department, in collaboration with relevant stakeholders, will continue to review the unsheltered response and address immediate concerns.
- Using a Housing First approach, the Social Services team and partner agencies will continue to work toward more permanent housing solutions for individuals living unsheltered.



MANAGEMENT REPORT

Date: December 13, 2021
To: Community Services Sub-committee
From: David St. Louis, Director
Report#: COM22-001
Attachments: Budget and Fee Schedule

Title: Golf Course 2022 Budget and Fee Schedule

Objective: To review and approve the proposed 2022 budget and fee schedule for the Municipal Golf Course.

Background: Attached is a proposed budget and fee schedule for 2022. A representative from the Golf Course Board of Directors will be available to answer any questions.

Analysis: As per the agreement, the budget and fee schedule require Council approval.

Financial Impact: The budget was developed based on inflation and an average of the past seven years. As well, additional funds were allotted for the continued improvements of the irrigation system around the golf course and added expenses due to COVID-19. Membership prices were increased by approximately 4%.

Alignment with Strategic Priorities:

Developing our Resources

Optimizing Stratford's physical assets and digital resources. Planning a sustainable future for Stratford's resources and environment.

Staff Recommendation: THAT the 2022 Municipal Golf Course Budget and Fee Schedule be approved as presented.

A handwritten signature in blue ink, appearing to read "D St. Louis", is positioned above a horizontal line.

David St. Louis, Director of Community Services

A handwritten signature in cursive script that reads "Joan Thomson".

Joan Thomson, Chief Administrative Officer

REVENUE	Year 2022
<i>Description</i>	Budget
Membership Fees	\$ 200,000.00
Green Fees	\$ 105,000.00
Beer, Liquor, Wine	\$ 90,000.00
Booth (pop, chips, etc.)	\$ 7,500.00
Golf ball, Gloves, hats, push carts	\$ 35,000.00
Interest Earned	\$ 1,250.00
Miscellaneous (BBQ rental, etc)	\$ 2,500.00
Lawn Bowling	\$ 10,000.00
Trail Fees - Compound (\$160x30carts)	\$ 2,000.00
Non-taxable Food	\$ 500.00
Driving Range	\$ 30,000.00
Cash Over	\$ 100.00
Transfer from reserve	\$ 60,000.00
Rental Carts	\$ 39,000.00
Hole Sponsorships	\$ 5,000.00
TOTAL REVENUE	\$ 587,850.00

EXPENDITURES

<i>General Expenses</i>	
Driving Range	\$ 5,000.00
Lawn Bowling	\$ 10,000.00
Building Maintenance	\$ 9,000.00
Utilities	
telephone	\$ 1,250.00
hydro, water, water heater rental	\$ 16,000.00
gas (heating)	\$ 3,600.00
TV/Cable	\$ 2,400.00
Internet - Web	\$ 1,100.00
Liquor License	\$ -
Advertising	\$ 1,900.00
Printing of Forms (scorecards/bagtags)	\$ 1,500.00
Office Supplies & Repairs	\$ 1,700.00
Food & Soft Drinks	\$ 10,000.00
Beer, Wine, Liquor	\$ 45,000.00
Minor Equipment	\$ 2,000.00
Glags (OGSA)	\$ 2,500.00
Turf Maintenance	\$ 45,000.00
fertilizer (greens)	
fertilizer (tees & fwys)	
grass seed (greens)	
grass seed (tees & fwys)	
equipment lease (greens&FWY)	
equipment lease (workman)	
pesticides	

Course Improvements	\$	30,000.00
Equipment Repairs	\$	17,000.00
Gasoline & Oil	\$	10,000.00
Golf balls/gloves/hats	\$	25,000.00
Insurance	\$	8,200.00
Loan Interest		
Golf tournament (trophies)	\$	625.00
General Expenses		
Car Allowance	\$	1,300.00
cell phone (managers)	\$	700.00
Golf Course Rental	\$	20,000.00
Staff uniform	\$	500.00
Cash short	\$	75.00
Push Cart purchase (28@\$109)		
Hole Sponsor		
Gas BBQ		
GAO Membership	\$	1,000.00
Cart/Equipment Rental (12 carts \$750)	\$	16,500.00
Tee-on Membership	\$	2,100.00
Unexpected Expenses	\$	2,000.00
Accreditation Program IPM/NGCOA	\$	2,000.00
Expenses (Capital)	\$	30,000.00
Transfer to reserve	\$	20,000.00
VISA charges	\$	4,500.00
MC charges	\$	2,500.00
DEBIT charges	\$	1,500.00
Clubhouse refresher		
Bank Fees	\$	400.00
TOTAL GENERAL EXPENDITURES	\$	353,850.00
Administration Expenditures		
Salaries	\$	213,000.00
Benefits	\$	21,000.00
TOTAL ADMINSTRATIVE EXPENSES	\$	234,000.00
Total Expenditures	\$	587,850.00
Net (surplus)/deficit	\$	-

2022 Municipal Golf Course Price List

GOLF MEMBERSHIPS

Category (plus HST)

Before Feb 28

Family	\$ 1,580.00	\$ 1,520.00
Couples	\$ 1,285.00	\$ 1,235.00
Adult 29+	\$ 675.00	\$ 650.00
Intermediate 23-28	\$ 545.00	\$ 525.00
Student 17-22	\$ 490.00	\$ 470.00
Junior 11 - 16	\$ 355.00	\$ 340.00
Junior with adult (parent or grandparent)	\$ 220.00	\$ 220.00
Beginner 10 and under	\$ 175.00	\$ 175.00
Female introductory	\$ 545.00	\$ 525.00

**GREEN FEE RATES (HST Included) Mon. to Fri.****Monday to Friday**

9-Hole	\$ 24.00
18-Hole	\$ 36.00

CART RATES (plus HST)**Member Owned**

Compound Fee	\$ 210.00
Trailer Fee	\$ 210.00

Daily Rental (HST included)

9-Hole Single	\$ 12.50
18-Hole Single	\$ 17.50

Seasonal Rental (plus HST)

9-Hole single rider	\$ 365.00
18-Hole single rider	\$ 475.00

MISCELLANEOUS FEES (plus HST)

Push Cart Daily Rental	\$ 3.00
Push Cart Storage	\$ 30.00
Seasonal Locker	\$ 60.00
Seasonal Push Cart	\$ 50.00
Season Locker & Push Cart	\$ 90.00

PRACTICE FACILITY (plus HST)

Individual Membership	\$ 230.00
Family Membership	\$ 345.00
Bag of Balls - Large	\$ 10.00
Bag of Balls - Small	\$ 7.50

FOOD & BEVERAGE (HST included)

Liquor drinks	\$ 5.75
Beer - Can tall boy	\$ 5.75
Beer - 20 oz draft	\$ 6.25
Beer - pitcher	\$ 19.25

Liquor - 1 oz/mix & Spirits	\$ 5.75
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Pop - Bottle	\$ 2.75
Powerade - Bottle	\$ 2.75
Juice	\$ 2.50

Confectionary (Chips/Nuts/etc.)	\$1-\$3
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Non Members of Course (Range)

Individual Membership	\$ 299.00
Family	\$ 410.00

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**BY-LAW NUMBER XXX-2022
OF
THE CORPORATION OF THE CITY OF STRATFORD**

BEING a By-law to adopt Official Plan Amendment No. 31 to redesignate the subject lands from "Residential Area", "Parks and Open Space", "Regulatory Flood Hazard" and "Medium Density Residential" to "Parks and Open Space".

WHEREAS Sections 17 and 21 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, provide that the Council of a municipality may, by by-law, adopt amendments to its Official Plan;

AND WHEREAS the Council has provided adequate information to the public and held at least one public meeting in accordance with the *Planning Act*;

AND WHEREAS the public interest was considered by Council to the need to adopt an amendment to the Official Plan of the City of Stratford for the subject lands;

AND WHEREAS the Council has determined that the request for an amendment is consistent with the Provincial Policy Statement, conforms with the goals and objectives of the Official Plan, will facilitate development that is appropriate for the lands, is compatible with surrounding lands and is considered to be sound land use planning and will encourage efficient use of land and infrastructure;

NOW THEREFORE the Council of The Corporation of the City of Stratford in accordance with the *Planning Act*, R.S.O. 1990, c.P.13 as amended, hereby enacts as follows:

1. That Amendment No. 31 to the Official Plan of the City of Stratford, consisting of the attached text and schedules, is hereby adopted.
2. The Clerk is hereby authorized and directed to proceed with the giving of written notice of Council's decision in accordance with the provisions of the *Planning Act*.
3. This By-law shall come into effect upon Final Passage and in accordance with the *Planning Act*.

Read a FIRST, SECOND and a THIRD TIME and

FINALLY PASSED this 14th day of February, 2022.

Mayor – Daniel B. Mathieson

Clerk – Tatiana Dafoe

11.1



City of Stratford

Official Plan Amendment No. 31

Adopted: February 14, 2022

11.1

AMENDMENT NO. 31 TO THE OFFICIAL PLAN OF THE CITY OF STRATFORD

Section 1 – Title and Components

This amendment shall be referred to as Amendment No. 31 to the Official Plan of the City of Stratford. Sections 1 to 4 constitute background information and are not part of the formal Amendment. Section 5 constitutes the formally adopted Amendment to the Official Plan.

Section 2 – Purpose of the Amendment

The purpose of this amendment is to redesignate the Subject Lands from "Residential Area", "Parks and Open Space", "Regulatory Flood Hazard" and "Medium Density Residential" to "Parks and Open Space" and the following:

1. "Medium Density Residential" with a Special Policy Area that:
 - a. Permits a range of low and medium density residential uses, including: single detached; semi-detached; townhouse dwellings; apartment type dwellings; back-to-back and stacked townhouses; and,
 - b. Permits a minimum and maximum residential density of between 16 and 100 units per net hectare.
 - c. Permit a maximum residential height of 4 storeys, except for apartment dwellings which are permitted to a maximum of 6 storeys.

The amendment will also update Schedule A to relocate the proposed Regulatory Flood Hazard Limit and Schedule "B" to relocate the Flood Hazard Erosion Hazard and UTRCA Regulation Limit from their current locations to match the proposed drainage course, per the Court and McNamara Drain Master Drainage Plan.

Section 3 – Location

The Subject Lands are located in the northwest area of the City of Stratford, north of the McNamara Drain with frontage along Perth Line 36. The Subject Lands have a total area of approximately 14.78 hectares.

Section 4 – Basis of Amendment

The City of Stratford completed their new comprehensive Official Plan update through Amendment No. 21 ("OPA 21"). OPA 21 came into effect August 11, 2016.

Prior to the approval of the updated Official Plan (OPA 21), the City of Stratford completed a Secondary Planning Process for the Stratford West Secondary Plan Area. The Secondary Plan was approved through OPA 16 of the previous Official Plan and was incorporated into the updated plan through OPA 21. Policies in Section 11 of the Official Plan state that the Stratford West community is one of the primary areas to accommodate new residential growth in the City of Stratford.

Land uses in Stratford West Secondary Plan are to be predominately low density residential, although a "Medium Density Residential" designation was imposed in areas to ensure a minimum residential density of between 30 to 100 units per hectare was achieved in those areas.

The Subject lands are proposed to be redesignated as Parks and Open Space and Medium Density Residential within a Special Policy Area which requires a minimum density of 16 to 100 units per net hectare. Although the minimum density has been reduced from the Medium Density Residential designation, the minimum number of units that can be developed will be slightly higher than the minimum number of units that could have been developed under the previous Medium Density and Residential Area designations combined.

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In addition to land use changes, modifications are underway to the McNamara Drain to permit the development of the subject lands. This change requires modification to the Regulatory Flood Hazard line shown on Schedule "A" of the Official Plan as well as to the Flood Hazard, and UTRCA Regulation Limits shown on Schedule "B" of the Official Plan. The outline of each feature has been determined by location of the drainage course provided in the Court and McNamara Drain Master Drainage Plan.

The Stratford West Community will become a significant residential neighbourhood, well designed to promote a high quality of life for existing and future residents. The proposed Official Plan Amendment rearranges the potential density and natural hazard features, while maintaining the planning policy framework of the West Stratford Secondary Plan.

The proposed Official Plan Amendment is consistent the 2020 Provincial Policy Statement. The proposed Official Plan Amendment also conforms to the City of Stratford Official Plan.

Section 5 – The Amendment

The Official Plan of the City of Stratford is amended as follows:

1. By adding the following new Section 11.2.20 to the Official Plan:

"Notwithstanding the uses permitted in the Medium Density Residential designation, within Special Policy Area 23, the following additional residential uses shall be permitted: single detached; semi-detached; townhouse dwellings; apartment type dwellings; triplex dwellings; back-to-back and stacked townhouses."

2. By also adding the following new Section 11.2.20 to the Official Plan:

"Notwithstanding the density provided in the Medium Density Residential designation, within Special Policy Area 23 the following residential densities shall apply:

- a. A minimum density of 16 units per net hectare and a maximum density of 100 units per net hectare.

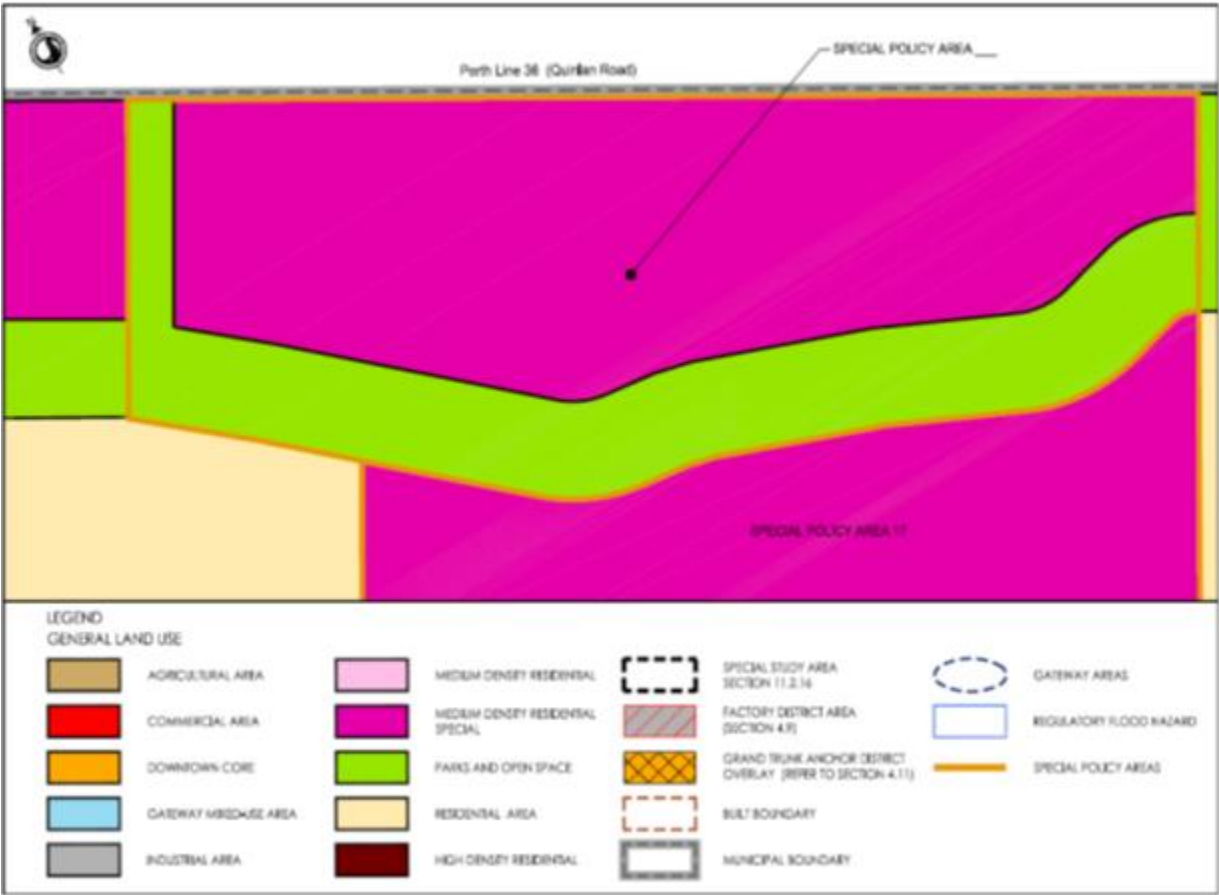
"Notwithstanding the height provided in section 4.5.3.4 within the Medium Density Residential designation, within Special Policy Area 23 the following residential heights shall apply:

- a. A maximum height of 6 storeys for apartment dwellings; and
- b. A maximum height of 4 storeys for all other residential uses.

3. By amending Schedule "A", General Land Use Plan and Schedule "B", Natural Heritage and Natural Hazards and replacing them with the revised Schedule "A", General Land Use Plan and Schedule "B", Natural Heritage and Natural Hazards, which are attached and form part of this amendment.

11.1

Schedule 'A'
To Official Plan Amendment No. 31



11.1

Schedule 'B'
To Official Plan Amendment No. 31





**BY-LAW NUMBER XXX-2022
OF
THE CORPORATION OF THE CITY OF STRATFORD**

BEING a By-law to amend Zoning By-law 201-2000 as amended, with respect to Zone Change Application Z01-21 to rezone part of Part Lots 3 and 4, Concession 2, (Geographic Township of Ellice), City of Stratford to a Residential Fourth Density R4(2) zone with site specific regulations.

WHEREAS authority is given to the Council of The Corporation of the City of Stratford by Section 34 of the Planning Act, R.S.O. 1990, c.P.13, as amended, to pass this by-law;

AND WHEREAS the said Council has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act;

AND WHEREAS the Council of The Corporation of the City of Stratford deems it in the public interest that By-law 201-2000, as amended, known as the Zoning By-law, be further amended;

NOW THEREFORE BE IT ENACTED by the Council of The Corporation of the City of Stratford as follows:

1. That Schedule A, Map 2a to Zoning By-law 201-2000 as amended, is hereby amended:

By changing from Agriculture to a Residential Fourth Density with site specific regulations R4(2)-29(H1), R4(2)-30(H1)(H2), Park (P) and Park Floodplain (P-FP) on Schedule "A", attached hereto and forming part of this By-law, outlined in heavy lines and described as and more particularly described as part of Part Lots 3 and 4, Concession 2, (Geographic Township of Ellice), City of Stratford.

2. The Township of Perth East Zoning By-law 30-1999 as it applies to the subject lands on Schedule "A" is hereby repealed.
3. That Zoning By-law 201-2001 as amended, be further amended by adding Section 8.4.29, being Exceptions of Residential Fourth Density R4(2) Zone, the following:

"8.4.29

- Defined Area (Northwest Stratford, north of the McNamara Drain) R4(2)-29(H1) and R4(2)-30(H1)(H2) as shown on Schedule "A".
- Permitted Uses
Cluster housing, single detached, semi-detached, triplex, townhouse dwelling, back-to-back townhouse dwelling, stacked townhouse dwelling and apartment dwellings.
- General Use Regulations
In accordance with Table 8-3

**Table 8-3
Residential Fourth Density R4(2)-29(H)**

Regulations	Cluster townhouse dwelling, single detached, semi-detached, triplex, street townhouse dwelling, townhouse dwelling, back-to-back townhouse dwelling, stacked townhouse dwelling	Apartment dwellings
Setback from a Collector Road and an Arterial Road	7.5 metres	7.5 metres

Setbacks:

Regulations	Cluster townhouse dwelling, single detached, semi-detached, triplex, street townhouse dwelling, townhouse dwelling, back-to-back townhouse dwelling, stacked townhouse dwelling	Apartment dwellings
Between a Building ⁶ and a Road, in which primary vehicular access to a dwelling is provided ¹	6.0 metres	6.0 metres
Between a Building ⁶ and a Road, in which no vehicular access is provided	4.5 metres	5.0 metres
Between Building ⁶ Walls with No Windows	3.0 metres	5.0 metres ⁷
Between Building ⁶ Walls with Windows to Non-Habitable Rooms	3.0 metres	10.0 metres
Between Building ⁶ Walls with Windows to Habitable Rooms	12.0 metres, provided that where the building walls are side walls and do not constitute a rear yard amenity area, a minimum of 4 metres is required	15.0 metres
Between a Building ⁶ with Windows to a habitable room and Publicly Owned Lands	6.0 metres	6.0 metres
Between a Building ⁶ with window to non-habitable	1.5 metres	5.0 metres

Regulations	Cluster townhouse dwelling, single detached, semi-detached, triplex, street townhouse dwelling, townhouse dwelling, back-to-back townhouse dwelling, stacked townhouse dwelling	Apartment dwellings
rooms and Publicly Owned Lands		
Maximum Height	12.0 metres ²	22.0 metres or 6 storeys, whichever is lesser
Minimum Density	16 units per hectare ³	16 units per hectare ³
Maximum Density	65 units per hectare ³	100 units per hectare ³
Maximum Lot Coverage	30% ³	35% ³
Off-Street Parking	1.5 spaces per dwelling unit ⁵	1.25 parking spaces per dwelling unit ⁴
Minimum Landscaped Open Space	30% ³	30% ³
Minimum Site Triangle	10 metres by 10 metres at an intersection of a collector/arterial road to a Road	10 metres by 10 metres at an intersection of a collector/arterial road to a Road

9. "Road" – shall mean a highway as defined in the Municipal Act which has been assumed for public use and is being maintained by the Municipality and/or includes a roadway that forms part of the common elements of a condominium plan if such roadway provides vehicular access to and from a highway as defined in the Municipal Act which has been assumed for public use and is being maintained by the Municipality and/or a private road subject to Site Plan Approval and a Site Plan Agreement.
10. Back-to-back townhouses and stacked townhouses are permitted to have a maximum height of 13.5 metres.
11. Minimum and maximum density as well as minimum landscaped open space, maximum lot coverage will be calculated based on total land area that is subject to Site Plan Approval under the *Planning Act*.
12. 0.25 of the required parking spaces per dwelling unit shall be designated as visitor parking.
13. Tandem parking (up to a maximum of 2 vehicles) in a driveway, accessory to a cluster townhouse dwelling unit, shall be permitted.
14. Except that no setback shall be required on the side where individual townhouse dwellings units or individual dwelling units of a semi-detached dwelling are attached together by a common wall extending along the side lot line separating such lots, provided that any direct extension therefor shall be setback not less than 3.0 metres from the building wall.
15. Or half the height of the building, whichever is greater.
16. Any attached or detached garage shall not exceed sixty (60) per cent of the width of the front building elevation of a dwelling unit (measured from inside face of outside wall or common wall to inside face of outside wall or common wall).

d) Holding Provision

- The holding provision (H1) shall apply to the lands zoned R4(2)-29(H1) and R4(2)-30(H1)(H2) as outlined by Schedule "A", hereto.
- Until such time as the (H1) is removed, a maximum of 392 dwelling units are permitted on the lands zoned R4(2)-29(H1) and R4(2)-30(H1)(H2). The (H1) shall not be removed until servicing has been addressed to the satisfaction of the City of Stratford Engineering Division for the lands outlined in Schedule "A" hereto.
- The holding provision (H2) shall apply to the lands zoned R4(2)-29(H1)(H2) as outlined on Schedule "A". hereto.
- Until such time as the (H2) is removed, no buildings or structures are permitted on lands zoned R4(2)-XX(H1)(H2) until the works have been completed and accepted to the floodplain to the satisfaction of the City of Stratford Engineering Division for the lands outlined in Schedule "A" hereto.

4. This By-law shall come into effect upon Final Passage and in accordance with the Planning Act.

READ a FIRST, SECOND and THIRD time and

FINALLY PASSED this 14th day of February, 2022.

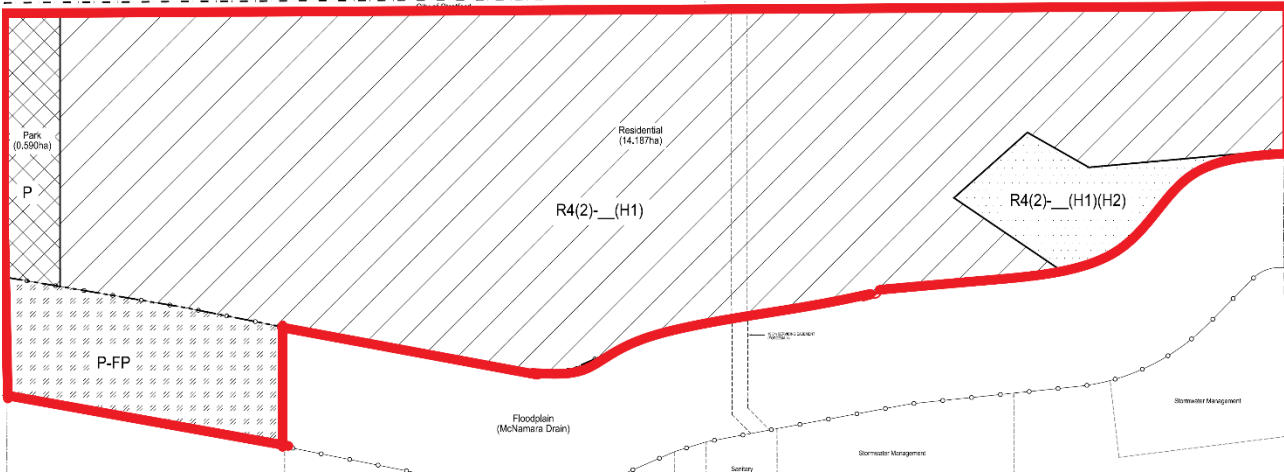
Mayor – Daniel B. Mathieson

Clerk – Tatiana Dafoe

**This is Schedule “A” to By-law XXX-2022
Adopted this 14th day of February, 2022**

Amending 201-2000, as amended
of
The Corporation of the City of Stratford

4117 Perth Line 36





BY-LAW NUMBER XXX-2022
OF
THE CORPORATION OF THE CITY OF STRATFORD

BEING a By-law to adopt a Comprehensive Zoning By-law to regulate the use of land and the character, location and use of buildings and structures in the City of Stratford and to **repeal** By-law 201-2000 and all amendments thereto, and The Township of Perth East By-law 30-1999, and any amendments thereto as it relates to lands within the corporate limits of the City of Stratford, and The Township of Perth South By-law 4-1999, and any amendments thereto as it relates to lands within the corporate limits of the City of Stratford, excluding provisions for the lands annexed to the City of Stratford in 2020.

WHEREAS Section 34 of the Planning Act, R.S.O. 1990, c. P. 13, as amended, provides that the governing body of a municipal corporation may pass by-laws to regulate the use of land and the character, location and use of buildings and structures;

AND WHEREAS Council of The Corporation of the City of Stratford has adopted an official plan pursuant to the provisions of the Planning Act, as amended;

AND WHEREAS the official plan has been approved by the Province of Ontario and now constitutes the Official Plan in effect for the City of Stratford;

AND WHEREAS under the Planning Act, as amended, when an official plan is in effect, no by-law shall be passed for any purpose that does not conform therewith;

AND WHEREAS this by-law shall be known as the "City of Stratford Zoning By-law";

NOW THEREFORE BE IT ENACTED by Council of The Corporation of the City of Stratford as follows:

1. That the attached document known as the City of Stratford Zoning By-law and consisting of Sections 1 through 15 inclusive, Schedule "A", Schedule "B" and Schedule "C" and hereby forming part of this By-law, are hereby adopted to regulate the use of land and the character, location and use of buildings and structures in the City of Stratford pursuant to the provisions of the Planning Act, as amended.
2. This By-law shall come into force the day that it was passed, if no appeals are received.
3. If an appeal is received, this By-law or portions thereof shall come into force when such appeals have been withdrawn or finally disposed of whereupon the By-law, except for those parts or provisions repealed or amended, shall be deemed to have come into force and effect the day the By-law is passed.

4. That By-law Number 201-2000 and all amendments thereto are hereby repealed.
5. That The Township of Perth East By-law 30-1999 and all amendments thereto, as it relates to lands within the corporate limits of the City of Stratford, are hereby repealed.
6. That The Township of Perth South By-law 4-1999 and all amendments thereto, as it relates to lands within the corporate limits of the City of Stratford, are hereby repealed, excluding provisions for the lands annexed to the City of Stratford in 2020.

Read a FIRST, SECOND and THIRD time and

FINALLY PASSED this 14th day of February, 2022.

Mayor – Daniel B. Mathieson

Clerk – Tatiana Dafoe

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The preamble is intended to assist the reader in understanding and interpreting the Zoning By-law for the City of Stratford. It does not form part of the Zoning By-law.

1.0 Overview of Zoning By-laws

A Zoning By-law is a detailed municipal by-law that regulates the types of land *uses* and activities that may occur on a property or within *buildings*; and the *height*, location, massing and character of *buildings* and *structures*.

Section 34 of the Ontario *Planning Act*, as amended, gives local municipalities the authority to pass Zoning By-laws, and identifies the specific matters that may be regulated by a Zoning By-law. Zoning By-laws are *used* by most municipalities in Ontario to manage land *use* compatibility and manage the character and appearance of neighbourhoods and communities. Zoning By-laws are also prepared to implement the policies of a municipality's Official Plan, which establishes goals and policies respecting the types of permitted land *uses* and desired built form within different geographic areas of the municipality. The Zoning By-law is *used* to translate these policies into more specific permitted land *uses*, and requirements for *lot* and *buildings* by establishing *zone* categories and regulations which apply to all lands in the municipality.

A Zoning By-law is primarily implemented through the *building permit* application process. Where a property owner or occupant wishes to construct something on their property, and applies for a *building permit*, the proposal must conform to the provisions of the Zoning By-law. If the proposal does not conform to the Zoning By-law, the applicant can:

- a) apply for a minor variance to seek relief from the provisions of the Zoning By-law;
- b) apply for a rezoning (Zoning By-law Amendment) to change their *zone* or seek major relief from the provisions of the Zoning By-law; or
- c) the applicant can rework their proposal so that it complies with the Zoning By-law.

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2.0 Authority to Prepare this By-law

The Zoning By-law is prepared in accordance with Section 34 of the *Planning Act*, R.S.O., 1990, c.P.13, as amended. Generally speaking, the *Planning Act* allows the Council of the City of Stratford to pass zoning by-laws to restrict the *use* of land, and to regulate the size, location and character of *buildings* and *structures* within the City.

3.0 Overview of the City of Stratford Zoning By-law

This Zoning By-law regulates the *use* of land and *buildings* and the massing, location, *height* and character of *buildings* and *structures* for all lands within the City of Stratford. All properties in the City of Stratford as shown on Schedule "A" are subject to the provisions of this Zoning By-law. This By-law replaces the City of Stratford Zoning By-law 201-2000, as well as the portions of the Township of Perth East By-law 30-1999 and Township of Perth South By-law 4-1999, as they relate to lands which are now within the corporate limits of the City of Stratford.

3.1 Structure of this By-law

The City of Stratford Zoning By-law consists of the following sections:

Section 1.0 – Interpretation and Administration

Section 1.0 describes how the Zoning By-law is to be interpreted, and how the By-law is to be administered by the City of Stratford. All *buildings* and *structures* and land *uses* within the City are required to conform to the provisions of this By-law. *Section 1.0* also contains important details regarding how development applications in process are to be administered.

Section 2.0 – Establishment of Zones

Section 2.0 of the Zoning By-law establishes the *zone* categories and *zone* symbols which are applied to all lands within the City of Stratford as shown on Schedule "A" to this By-law. This section also describes how *zone* boundaries are to be interpreted and identifies special *zone* regulations which may apply to certain properties.

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Certain lands may be subject to holding provisions, which are denoted by the symbols “-H1, -H2”, etc., as a suffix to the *zone*. Where a holding symbol is shown, the provisions of [Section 2.5.2](#) apply. Where a holding symbol is applied to lands, the lands may not be *used* or developed according to the requirements in the underlying *zone* until such time as the holding symbol is removed. Lands subject to a holding symbol are typically only permitted to be *used* for those *uses* which legally existed prior to the addition of the holding symbol. The by-law which was passed to add the holding symbol may contain special conditions for removing the holding symbol, such as the provision of municipal wastewater servicing for the land. City *Council* must pass a by-law to remove the holding symbol once they are satisfied that the conditions for removing the holding symbol have been met.

Certain lands may be subject to bonus provisions, which are denoted by the symbols “-B1, -B2”, etc. as a suffix to the *zone*. Where a bonus provision is shown, the provisions of [Section 2.5.3](#) apply. Where a bonus provision is applied to lands, increases in the *height* and/or *density* are permitted, beyond that which is typically permitted in this By-law, in exchange for the provision of certain facilities, services, or other matters which provide a community benefit. An amendment to this By-law is required to establish the development standards that would apply when bonusing is granted.

Certain lands may be subject to a temporary *use* permission, which are denoted by the symbols “-T1, -T2”, etc. as a suffix to the *zone*. Where a temporary *use* permission is shown, the provisions of [Section 2.5.4](#) apply. Where a temporary *use* permission is applied to lands, through a Temporary Use By-law, the subject lands may be *used* for such temporary *uses* as set out in the By-law for a limited period of time, notwithstanding the permitted *uses* of this By-law. An amendment to this By-law is required to establish the temporary *use* provisions related to the subject lands.

Certain lands may also be subject to compound zoning (i.e., I2/UR), in which case the provisions of this By-law with respect to each *zone* shall apply to the subject lands, and any *building*, *structure* or *use* shall conform to the provisions of this By-law which are applicable to such *building*, *structure* or *use*.

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Section 3.0 – Definitions

Section 3.0 provides specific definitions for commonly *used* terms in the By-law. The permitted *uses*, and other technical terms *used* in the Zoning By-law are defined to ensure the Zoning By-law is being interpreted and applied consistently. For the convenience of the reader, if a term is *italicized* in the text of the Zoning By-law, then the term is defined in Section 3.0.

Section 4.0 – General Provisions

Section 4.0 of the Zoning By-law provides general provisions which may be applicable to all *zones*, one or more categories of *zones*, or to specific *uses*, depending on the proposed *use* of the *lot* or the context of the *lot*. These provisions include detailed requirements for swimming pools, *home occupations*, *accessory buildings*, *short term rental accommodations*, *bed and breakfasts* and many more subjects that will be applicable depending on the context.

Section 5.0 – Parking and Loading Requirements

Section 5.0 identifies the minimum number of *parking spaces* that a *use* must provide on-site to accommodate *vehicles*. Some *uses* are also required to have *loading spaces* to accommodate the *use*. In this By-law, some *uses* are also required to provide and maintain a certain number of *barrier free parking spaces* and *bicycle parking spaces*. This section also provides requirements for the size of *parking spaces*, drive aisles, and parking lots.

Sections 6.0-14.0 – Zone Categories (Permitted Uses, Special Use Regulations, and General Use Regulations)

Sections 6.0 through 14.0 outlines the *zone* categories which establish the permitted *uses* within each *zone*, as well as the general *use* regulations which identify the *lot* and *building* requirements, including minimum *lot area* and *lot frontage* requirements, *building setbacks* from *lot lines*, maximum *building heights*, and requirements for *accessory buildings* or *structures*. In certain instances, a *zone* category may contain multiple *zone* variations which apply different general *use* regulations. Certain *zones* may also contain special *use* regulations which apply additional requirements to a specific *use*, such as a *boarding house dwelling*, *gas bar*, and *open storage*.

The *zones* are organized into similar categories, in the following sections:

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- Section 6.0 – Residential Zones
- Section 7.0 – Commercial and Mixed Use Zones
- Section 8.0 – Grand Trunk Anchor District Zone
- Section 9.0 – Industrial Zones
- Section 10.0 – Institutional Zones
- Section 11.0 – Theatre District Zone
- Section 12.0 – Parks and Open Space Zones
- Section 13.0 – Agricultural Zone
- Section 14.0 – Urban Reserve Zone

Section 15.0 – Zone Exceptions

Most lands in the City of Stratford are zoned by a base *zone*, which are represented by symbols such as R1(1), I2, etc. However, some lands are also zoned by a site-specific *zone* exception, which is denoted as a base *zone* symbol followed by a hyphenated numeric suffix in Section 15.0. For example, I2-1 is *zone* exception number 1 to the General Industrial (I2) *Zone*. The *zone* exceptions provide special provisions related to that specific property or properties, and establish specific requirements related to that *zone* exception.

Section 16.0– Enactment of By-law

Section 16.0 includes the particulars for the enactment of the Zoning By-law, including the effective date.

Schedule “A” Maps

Schedule “A” to the Zoning By-law is comprised of a series of Maps which identify the *zone* categories for all lands in the City of Stratford. In addition, the maps also identify areas which are subject to specific provisions which may include *zone* exceptions and Holding Provisions. The mapping is subject to change and may be amended from time to time to reflect amendments to the zoning by-law as well as mapping changes due to technical adjustments.

Upper Thames River Conservation Authority Regulation Area (Schedule “A” Overlay)

The *Regulated Area* of the *Upper Thames River Conservation Authority* is illustrated as an overlay on the Schedule “A” maps. The *Regulated Area* includes lands within the jurisdiction of the *Upper Thames River Conservation Authority*, and may relate to lands associated with flooding or other *hazard lands*.

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Development within the *Regulated Area* may require a permit from the *Conservation Authority* before a *building permit* can be issued. This overlay is primarily intended for information purposes only, as the *Regulated Area* of the *Conservation Authority* may change from time to time. The reader should consult with the City of Stratford and the *Upper Thames River Conservation Authority* to confirm whether a permit will be required from the *Conservation Authority* prior to any development or site alteration. *Section 4.29 (Upper Thames River Conservation Authority Regulation Area)* in the general provisions provides additional information about the meaning of this overlay.

Schedule “B” – Street Classification and Existing and Design Street Widths

Schedule “B” establishes the classification of streets, including Arterial, Collector and Local Streets. It also identifies the *existing street width* and the design (or planned) *street width*, which may identify where additional land may be required for a future road widening. The Zoning By-law makes reference to Schedule “B” when referring to the classification of streets and the existing and design (or planned) street widths.

Schedule “C” – Wellhead Protection Areas

Schedule “C” identifies *wellhead protection areas* which include vulnerable areas in which a significant drinking water threat could occur, in accordance with the *Clean Water Act*. The general provisions of *Section 4.28 (Source Protection (Wellhead Protection Areas))* identify *uses* and activities which may be prohibited within the defined *wellhead protection areas*. The intent of these provisions is to protect the quality of groundwater resources by prohibiting certain *uses* which may cause adverse impacts on groundwater, such as the storage and handling of hazardous wastes.

All provisions of the By-law are intended to be read in conjunction with one another. It is always important, when reading a Zoning By-law, to identify all provisions throughout the document which may apply to a particular property or *use*.

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4.0 How to Check Zoning and Identify Applicable Regulations for a Property

Zoning By-law users are a diverse audience. Some readers will want to examine how the Zoning By-law addresses a certain issue or regulates a certain *use* (e.g., how does the Zoning By-law regulate *home occupations*? In which *zones* are *apartment buildings, short term rental accomodations*, or *bed and breakfasts* permitted?). Other users are responsible for administering the By-law and must understand it in great detail.

The Zoning By-law is required to implement the City's Official Plan, and the reader should also refer to the Official Plan to determine the *existing* land *use* designation and any relevant policies which may be applicable to a specific property or development proposal. Readers are encouraged to consult with the City, to assist in confirming and interpreting the Zoning By-law.

Most readers, however, will use a Zoning By-law in order to determine what they are permitted to do on their property. Following is an outline of the steps one may typically take to determine what types of regulations apply to their property:

1. **Locate the property on the applicable Schedule "A" Map** and identify the *zone* symbol that applies to the property (e.g., R1(1)). In addition to the applicable *zone* symbol, the following property specific regulations may also apply, as denoted by a mapping overlay or a *zone* suffix:

- 1.1 **Regulated Area:** If the property is located in the *Regulated Area* of the *Upper Thames River Conservation Authority*, as shown as an overlay on Schedule "A", the reader will need to refer to [Section 4.29](#) (Upper Thames River Conservation Authority Regulated Area), which identifies associated regulations and permit requirements from the *Conservation Authority* which may be required to permit development on the property.

- 1.2 **Stratford Airport Federal Regulations:** If the property is located within the Stratford Municipal Airport Zoning Area, as shown as an overlay on Schedule "A" the reader will need to refer to [Section 2.5.6](#) (Stratford Airport Federal Regulations). The federal zoning regulations for the Stratford Municipal Airport regulate, within the defined area, the *height* of the *buildings, structures*, objects and natural growth; and communication

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signals which may cause interference with an aircraft or the airport. The regulations apply to all lands within the defined area, including private property and municipal road allowances.

1.3 Zone Exception: If a *zone* exception number (i.e., "-1") follows the *zone* symbol, the *zone* symbol includes a *zone* exception (i.e., R1(1)-1), refer to the applicable *zone* exception provisions contained in [Section 15.0](#). The *zone* exception will provide alternative permitted *use* or *zone* regulations than what would typically be required by the base *zone*. In most cases, the exception *zone* will only address one or more provisions, and at least some of the *zone* regulations in the base *zone* in Sections 6.0-12.0 and the general provisions in [Section 4.0](#) and the parking and loading requirements of [Section 5.0](#) will still apply.

1.4 Holding Symbol: If a holding symbol (i.e., "-H1") follows the *zone* symbol (i.e., R1(1)-H1), refer to [Section 2.5.2](#) regarding the criteria for removal of the holding symbol, and what *uses* may be permitted prior to the removal of the holding symbol. The reader should consult with the City to confirm the permitted *uses* and the requirements for removing the holding symbol.

1.5 Bonus Provisions: If a bonus provision (i.e., "-B1") follows the *zone* symbol (i.e., R1(1)-B1), refer to [Section 2.5.3](#) regarding the increases in the *height* and/or *density* that are permitted, beyond that which is typically permitted in this By-law, in exchange for the provision of certain facilities, services, or other matters which provide a community benefit.

1.6 Temporary Use Permission: If a temporary *use* permission (i.e., "-T1") follows the *zone* symbol (i.e., R1(1)-T1), refer to [Section 2.5.4](#) regarding the *use(s)* for which the subject lands may be *used* for such temporary *use(s)* as set out in the By-law for a limited period of time, notwithstanding the permitted *uses* of this By-law.

1.7 Lots with Compound Zoning: If a property has compound *zones*, such as (i.e., I2/FR), refer to [Section 2.3.3](#). In these instances, the provisions of this By-law with respect to each *zone* shall apply to the subject

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lands, and any *building, structure* or *use* shall conform to the provisions of this By-law which are applicable to such *building, structure* or *use*.

2. **Locate the road(s) on which the property is located on Schedule "B."** Schedule "B" lists all of the Roads in the City and identifies its classification (i.e., collector, local or arterial) as well as the existing and planned width of each road. This information is referred to by certain provisions of the By-law (see Step 5).
3. **Wellhead Protection Area:** If the property is located within a *wellhead protection area* as shown on Schedule "C", the reader will need to refer to the general provisions in [Section 4.28](#) (Source Protection (*Wellhead Protection Areas*)), which identifies certain *uses* and activities which may be prohibited within the *wellhead protection area* in order to protect the quality of groundwater resources.
4. **Identify the permitted uses and general use regulations for the zone category:** Every *zone* category includes a table of permitted *uses* and general *use* regulations in Section 6.0 through Section 14.0 of the By-law. For Residential Zones (R1, R2, R3, etc.) you will find the list of permitted *uses* in [Section 6.2](#) (Permitted Uses) of the By-law, and the general *use* regulations in [Section 6.4](#), which are further divided into *zone* variations (i.e., R1(1), R1(2), R1(3)). The permitted *uses* for each *zone* are organized in a table. The *uses* permitted on your property are represented by the symbol "✓" in the column applicable to that *zone* and corresponding with the row for a specific permitted *use*. For each *zone*, the general *use* regulations establish the *lot* and *building* requirements applicable to that *zone* or *zone* variation, including the required minimum *lot area*, minimum *lot frontage*, minimum and/or maximum yard *setbacks*, *building heights*, and other *lot* and *building* requirements, which the *use* of the *lot* must comply with.

It is important to read the definitions associated with the terminology *used* in this By-law. All of the *uses* permitted in this By-law are associated with a definition. Many technical terms are also defined, such as *lot frontage*, *lot coverage*, and *front yard setback*, for example. Where a term is defined, you will see it appear in *italics* in this text for convenience.

5. **Identify Other Provisions that May Apply:** The types of *uses* and *lot* and *building* requirements are principally regulated by the *zone* requirements.

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However, [Section 4.0](#) (General Provisions) contains provisions that apply to certain permitted [uses](#). For example, there are provisions that are specifically applicable to swimming pools, [bed and breakfast establishments](#), [accessory buildings](#), [home occupations](#), [short term rental accommodations](#), and many other [uses](#). Furthermore, [Section 5.0](#) (Parking and Loading Requirements) contains provisions that apply to [parking spaces](#), loading areas, drive aisle and parking lot requirements, and [barrier free parking space](#) and [bicycle parking space](#) requirements.

6. **Consider the Administrative Provisions of the Zoning By-law:** [Section 1.0](#) (Interpretation & Administration) of the Zoning By-law contains some provisions that can help you understand how to read and [use](#) the By-law. A reader should be familiar with these provisions as they may be essential depending on your circumstance.

5.0 Confirming with the City

It is always a good idea to consult with the City about your construction project, as City staff will help you determine whether your project will comply with the applicable provisions of the Zoning By-law. For significant developments, consultation with the other applicable agencies may also be required.

Additionally, there may be approved minor variances which are applicable to the property which may provide relief from certain [zone](#) regulations, permitted [uses](#) or general provisions. The City of Stratford's Planning Staff can assist in identifying any approved minor variances.

6.0 Relationship to Other By-laws, Regulations, Legislation, etc.

The Zoning By-law does not supersede or trump any other legislation, regulations or municipal by-laws. In fact, depending on your proposal or the [use](#) of your property, other laws may apply. It is the property owner's responsibility to understand what laws will apply to their land [use](#) or their construction project.

The municipality administers other by-laws that are related to this Zoning By-law. For example the City administers a [sign](#) by-law to regulate [signs](#). The City also administers by-laws that regulates and provides a process for licensing certain businesses, subject to conditions, such as [bed and breakfast establishments](#) and [short term rental](#)

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accommodations. These by-laws essentially 'build' on the Zoning By-law's requirements, and should be considered "in addition to" the Zoning By-law's requirements.

The laws and regulations of the Province, the Federal Government and other agencies may also apply. Some *uses* may be subject to Provincial/Federal licensing or regulation. It is not the role of the Zoning By-law to integrate with the regulations or laws of other government. The City can help you identify what other laws and regulations might apply to your project.

7.0 Subsequent Zoning By-law Amendments

The Zoning By-law may be consolidated from time to time to include subsequent amendments to the Zoning By-law. However, there may have been amendments to the Zoning By-law or removals or additions of holding symbols which are not consolidated in the current office consolidation of the Zoning By-law. In all cases, the reader should contact City planning staff to confirm the most current zoning of a property and applicable regulations. Additionally, the maps contained in Schedule "A" may not reflect the latest zoning, or any recent changes to the parcel fabric.

8.0 Minor Variances

The Committee of Adjustment has the authority to approve minor variances to the Zoning By-law, which may provide minor relief from specific zoning provisions or minor changes to the permitted *uses* of one or more properties. Minor variances previously granted are not reflected in the Zoning By-law and are not indicated in the *zone* exceptions. The reader should contact the City to identify whether there are any approved minor variances applicable to a property.

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INTERPRETATION & ADMINISTRATION

SECTION 1 INTERPRETATION & ADMINISTRATION

1.1 Title

This By-law shall be known as the “City of Stratford Zoning By-law”.

1.2 Lands Affected

The provisions of this By-law shall apply to all lands within the corporate limits of the City of Stratford.

1.3 Repeal of Former By-laws

The following By-laws, and all amendments thereto are hereby repealed:

- a) City of Stratford By-law 201-2000 and all amendments thereto;
- b) Township of Perth East By-law 30-1999 and all amendments thereto, as it relates to lands within the corporate limits of the City of Stratford, are hereby repealed; and
- c) The Township of Perth South By-law 4-1999 and all amendments thereto, as it relates to lands within the corporate limits of the City of Stratford, with the exception of the 2020 annexation lands, are hereby repealed.

1.4 Conformity with this By-law

No *building* or *structure* shall hereafter be erected or altered, no land shall be *used*, nor shall the *use* of any *building*, *structure* or *lot* hereafter be changed, in whole or in part, except in conformity with the provisions of this By-law.

1.5 Compliance with Other Legislation

- a) Nothing in this By-law shall serve to relieve any person from any obligation to comply with the requirements of any other By-law of the City of Stratford, Province of Ontario, or Government of Canada that may otherwise affect the use of land, *buildings*, and *structures*.
- b) Without limiting the generality of subsection (a) above, this includes the *Building Code Act* (Ontario Regulation 332-12), the *Ontario Heritage Act*, and

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the permitting procedures of the *Upper Thames River Conservation Authority* (Ontario Regulation 157/06).

1.6 Penalties

Every person who contravenes a provision of this By-law and, if the person is a corporation, every director or officer of the corporation who knowingly concurs in the contravention, is guilty of an offence and on conviction is liable to fines under the *Planning Act*.

1.7 Severability

A decision of a court of competent jurisdiction that one or more of the provisions of this By-law or any portion of the Zoning Schedules to this By-law are invalid in whole or in part does not affect the validity, effectiveness, or enforceability of the other provisions or parts of the provisions of this By-law.

1.8 Clarification and Convenience

- a) Examples, side notes, and illustrations are for the purpose of explanation, clarification, and convenience, and do not form part of this By-law.
- b) Any numbers in circles following any item in any Table indicates that one or more additional regulations apply to the *use*, *zone*, or standard indicated. These additional regulations are listed below the applicable Table.
- c) Any geographic, biographic, referential, or identifying information and any list of amending by-laws contained in this By-law is provided for the purpose of clarification and convenience and does not form part of this By-law.
- d) The following character styles are provided for the purpose of convenience. Their usage or omission shall not be considered an interpretive statement by the City:
 - i) Terms that are defined in [Section 3.0](#) (Definitions) of this By-law have been italicized.
 - ii) Titles of Federal or Provincial legislation have been *italicized*.

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- e) Any reference to Federal or Provincial Act or Regulation shall include any amendments or revisions made thereto or any subsequent Act or Regulation enacted in its place.
- f) Where a defined term listed in [Section 3.0](#) (Definitions) of this By-law is reversed anywhere in this By-law, it is done for the ease and convenience of locating the term with other like terms (e.g., *single detached dwelling*, or *dwelling, single detached*). Such a reversal or lack thereof shall not be considered an interpretive statement by the City.
- g) Where another By-law number is cited in this By-law, that reference shall be interpreted to include reference to any and all applicable amendments to that By-law.
- h) Revisions may be made to this by-law without the need for a zoning by-law amendment in the following cases:
 - i) correction of numbering, cross-referencing, grammar, punctuation or typographical errors or revisions to format in a manner that does not alter the meaning or intent of the provision;
 - ii) adding or revising technical information on maps or schedules that does not affect the zoning of lands including, but not limited to, matters such as updating and correcting infrastructure information, keys, legends or title blocks; and
 - iii) changes to appendices, footnotes, headings, indices, marginal notes, tables of contents, illustrations, historical or reference information, page numbering, footers and headers, which do not form a part of this by-law and are editorially inserted for convenience of reference only.

1.9 Measurements and Rounding Provisions

Where the rounding of a calculation is required by the provisions of this By-law, all measurements of length or area *used* in this By-law shall be subject to the normal rules of rounding numbers, within the degree of precision specified by the number of digits following the decimal point (if any), so that:

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a) For a whole number:

- i) Measurements of less than 0.5 shall be rounded downward to the next whole unit (e.g., 8.49 metres is rounded downward to 8 metres); and
- ii) measurements of 0.5 and greater shall be rounded upward to the next whole unit (e.g., 8.51 metres is rounded upward to 9 metres).

b) For a number having one decimal place:

- i) measurements of less than 0.05 shall be rounded downward to the next one-tenth unit (e.g., 8.049 metres is rounded downward to 8.0 metres); and
- ii) measurements of 0.05 and greater shall be rounded upward to the next one-tenth unit (e.g., 8.051 metres is rounded upward to 8.1 metres).

Ratios and percentage figures shall not be subject to the above rounding provisions.

The calculation of required *parking spaces*, *barrier free parking spaces*, *loading spaces* and *bicycle parking spaces* shall be subject to the rounding provisions of [Section 5.0](#) (Parking and Loading Requirements).

1.10 Transition Protocol

Notwithstanding [Section 1.3](#) (Repeal of Former By-laws) and [1.4](#) (Conformity with this By-law) of this By-law, a *building permit* may be issued for the following scenarios in accordance with [Section 1.10](#) of the By-law.

1.10.1 Building Permit Applications

Nothing in this By-law shall prevent the erection or *use* of any *building* or *structure* that does not conform with one or more of the provisions of this By-law if a *building permit* was issued prior to the effective date of passing of this By-law provided that the erection of such *building* or *structure* is commenced not more than 6 months after the date of

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passing of this By-law and continues without unnecessary interruption, and prior to the expiration of any such *building permit* or termination of such site plan agreement.

1.10.2 Minor Variance and Consent Applications

- a) Where the Committee of Adjustment of the City, the Townships of Perth East or Perth South, the Ontario Municipal Board or Local Planning Appeal Tribunal has authorized a minor variance from the provisions of By-law 201-2000, By-law 30-1999 and By-law 4-1999 in accordance with Section 45(1) of the *Planning Act*, in respect of any land, *building* or *structure* and the decision has come into effect on or prior to the effective date of passing of this By-law, the provisions of this By-law, as they apply to such land, *building* or *structure*, shall be deemed to be modified to the extent necessary to give effect to such minor variance. This provision shall apply only to minor variances that have been granted since November 9, 2000.
- b) The requirements of this By-law do not apply to a *lot* where a provisional consent has been given by the Committee of Adjustment of the City or the Ontario Municipal Board or Local Planning Appeal Tribunal or the applicable authority that grants consents on or before the effective date of this By-law and a *building permit* for the applicable project has not yet been issued, the *lot* has not yet been *registered* at the Land Registry Office, or the applicable easement or agreement has not yet been *registered* on title.

1.10.3 Site Plan Applications

The requirements of this By-law do not apply to a *lot* where Site Plan Approval has been granted by the City or the Ontario Municipal Board or Local Planning Appeal Tribunal on or before the effective date of this By-law and a *building permit* for the applicable project has not yet been issued.

1.10.4 Previous Zoning to Apply

- a) For the purposes of determining zoning compliance for matters subject to Section 1.10 of this By-law, the applicable provisions of the City of Stratford Zoning By-law 201-2000, Township of Perth East Zoning By-law 30-1999, and Township of Perth South Zoning By-law 4-1999, as amended, as it read on the effective date of this By-law shall apply.

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1.10.5 Cessation of Section 1.10 Relief

- a) The relief provided by [Section 1.10](#) of this By-law shall not continue beyond the issuance of the permit, approval, or agreement upon which the exemption is founded, unless otherwise provided for in this By-law. Once the permit, agreement, or approval has been granted, the provisions of the former applicable Zoning By-law shall cease to be in effect.

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ESTABLISHMENT OF ZONES

SECTION 2 ESTABLISHMENT OF ZONES

2.1 Establishment of Zones

For the purpose of this By-law, the following [zones](#) are established in [Table 2.1](#) and all lands subject to this By-law are placed into one or more of the following [zones](#):

Table 2.1: Establishment of Zones	
Zone Category	Zone Symbols
RESIDENTIAL ZONES	
Residential First Density	R1
Residential Second Density	R2
Residential Third Density	R3
Residential Fourth Density	R4
Residential Fifth Density	R5
Mixed Use Residential	MUR
COMMERCIAL ZONES	
Neighbourhood Commercial	C1
Highway Commercial	C2
Central Commercial	C3
Shopping Centre Commercial	C4
Corridor Commercial	C5
GRAND TRUNK ANCHOR DISTRICT ZONE	
Grand Trunk Anchor District	AD
INDUSTRIAL ZONES	
Prime Industrial	I1
General Industrial	I2
Secondary Industrial	I3
Factory District	I4
INSTITUTIONAL ZONES	
Institutional Community	IN1
Institutional Neighbourhood	IN2
THEATRE DISTRICT ZONE	
Theatre District	TH

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Table 2.1: Establishment of Zones

Zone Category	Zone Symbols
PARKS AND OPEN SPACE ZONES	
Parks	P
Open Space	OS
AGRICULTURAL ZONE	
Agricultural	A
URBAN RESERVE ZONE	
Urban Reserve	UR

2.2 Zone Symbols

Zones and *zone* boundaries are shown on Schedule “A” of this By-law. The lands identified on the schedules as being within a *zone* are subject to the provisions of this By-law applicable to that *zone* or *zones*.

2.3 Interpretation of Zone Boundaries

2.3.1 Determination of Boundary

Where the boundary of any *zone* is shown on the Schedules:

- As following the centre-line or limit of a *street*, *lane*, railway, right-of-way, transmission line, unopened road allowance, or watercourse, the boundary shall be the centre-line of the applicable feature;
- As following the *front lot line* on a future *lot* in a draft approved Plan of Subdivision or Condominium, the boundary shall be the centre-line of the future *street* being constructed;
- As following any other *lot line* on an *existing lot* or on a future *lot* in a draft approved Plan of Subdivision or Condominium, the boundary shall be the *existing* or future *lot line*;
- As running substantially parallel to a *lot line abutting* any *street* and the distance from that *street* is not indicated, the boundary shall be parallel to

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the applicable *lot line* and the distance shall be determined according to the scale shown on the Schedules;

- e) As following the limits of the City, the boundary shall be the corporate limits of the City; and,
- f) Where none of the above provisions apply, the *zone* boundary shall be scaled from the Schedules.

2.3.2 Lots with More Than One Zone

- a) Where a *lot* is divided into two or more *zones*, each such portion of the said *lot* shall be considered a separate *lot* as defined herein and shall be *used* in accordance with the provisions of this By-law which are applicable to the *zone* wherein such portion of the said *lot* is located.
- b) Notwithstanding anything in paragraph a) to the contrary, where the *use* or *uses* of a *lot* divided into two or more *zones* are permitted in all such *zones*, the said *lot* shall be considered to be a single *lot* as defined herein and the highest or most restrictive *zone* requirements pertaining to such *use* or *uses* applicable to the *zones* shall apply throughout the said *lot*.

2.3.3 Lots with Compound Zoning

Where a *lot* has a compound *zone*, it is indicated by a *zone* symbol followed by a forward slash ("/"), and a second *zone* symbol, such as I2/UR (General Industrial / Urban *Reserve*), then the provisions of this By-law with respect to each such *zone* shall apply to the said *lot*, and any *building*, *structure* or *use* shall conform to the provisions of this By-law which are applicable to such *building*, *structure* or *use*. The Mixed Use Residential (MUR) Zone shall be compounded with an R2 or R3 *zone*.

2.4 Interpretation of Use

Where a *use* is defined or permitted in a *zone*, the interpretation of that *use* shall not include any other *use* specifically referred to or otherwise defined in this By-law.

2.5 Special Zone Regulations

Where the *zone* symbol zoning certain lands on the Schedules is preceded or followed by any combination of parentheses, a hyphen, number, or letter, provisions relating to one

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or more of the following special *zone* regulations apply to the lands so designated on the Zoning Maps. Lands so identified shall be subject to all of the provisions and restrictions of the applicable parent *zone*, except as otherwise provided by the special *zone*.

2.5.1 Zone Exceptions (Defined Areas)

Where a *zone* symbol is followed by a hyphen and number, the symbol refers to a *zone* exception that applies to the identified lands, which is included in [Section 15.0](#) (Zone Exceptions).

2.5.2 Holding Provisions

Where a *zone* symbol applying to any *lot* or area on Schedule "A" is followed by the holding symbol "-H" and a number, such as R1(1)-H1, no *building*, *structure* or *use* shall be erected or altered, save and except for *existing buildings* or *structures* permitted in the applicable *zone*, until such time as the (H) symbol has been removed in accordance with the provisions of the *Planning Act*.

Application of the holding symbol (H) indicates that development of the lands is premature at the present time, and indicates the *use* to which lands, *buildings* or *structures* may be *used* at such time in the future as the holding symbol is removed by amendment to this By-law. Section 9.2.4 of the Official Plan outlines the criteria to be satisfied in order to remove the holding symbol (H); however, more specific criteria or holding provisions may be included in the Zoning By-law, provided that such criteria is in conformity with the City of Stratford Official Plan.

[Table 2.5.2](#) establishes the holding provisions, including the extent of permitted *uses* while the holding symbol (H) is in place, and the conditions that must be satisfied for the removal of the holding symbol (H). Additional holding symbol criteria may be established through site specific *zone* exceptions as outlined in the applicable *zone* exceptions to this By-law.

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Table 2.5.2: Holding Provisions

	Holding Permitted Uses Until the Symbol Holding Symbol is Removed	Conditions for Removal of the Holding Symbol
H1	<i>Existing</i> , legally established <i>uses</i> in existence on the date of passing of this By-law.	That the City of Stratford has confirmed that sufficient water, sanitary sewer and storm sewer facilities are available, to the satisfaction of the City.
H2	<i>Existing</i> , legally established <i>uses</i> in existence on the date of passing of this By-law.	That site plan approval has been granted by the City of Stratford and a site plan agreement has been entered into, pursuant to the provisions of the <i>Planning Act</i> .
H3	<i>Existing</i> , legally established <i>uses</i> in existence on the date of passing of this By-law.	That draft plan of subdivision approval has been granted by the City and a subdivision agreement has been entered into, pursuant to the provisions of the <i>Planning Act</i> .
H4	<i>Existing</i> , legally established <i>uses</i> in existence on the date of passing of this By-law.	That the City of Stratford is satisfied in consultation with the <i>Upper Thames River Conservation Authority</i> that an appropriate analysis of the environmental feature(s) has been completed and the area of development has been approved.
H5	<ul style="list-style-type: none"> <i>hotel apartment building</i> (maximum of 240 <i>hotel</i> rooms/<i>apartment building</i>) <i>auditorium</i> <i>eat-in restaurant</i> <i>professional office</i> <i>clinic</i> <i>apartment building</i> <i>hotel</i> (maximum of 120 rooms) theatre 	That the City of Stratford has confirmed that sufficient water, sanitary sewer and storm sewer facilities are available, to the satisfaction of the City.

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Table 2.5.2: Holding Provisions

Holding Permitted Uses Until the Symbol Holding Symbol is Removed	Conditions for Removal of the Holding Symbol
<ul style="list-style-type: none"> • <i>business office</i> • private club • <i>retail store</i> (maximum <i>gross floor area</i> all <i>retail stores</i> combined 1,000m²) in accordance with subsection (d) of <i>zone</i> exception C2-7 • <i>tavern</i> • spa in accordance with subsection (d) of <i>zone</i> exception C2-7 • <i>fitness club</i> in accordance with subsection (d) of <i>zone</i> exception C2-7 • <i>personal care establishment</i> in accordance with subsection (d) of <i>zone</i> exception C2-7 • <i>personal service establishment</i> in accordance with subsection (d) of <i>zone</i> exception C2-7 • <i>clinic</i> in accordance with subsection (d) of <i>zone</i> exception C2-7. 	

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Table 2.5.2: Holding Provisions

Holding Symbol	Permitted Uses Until the Holding Symbol is Removed	Conditions for Removal of the Holding Symbol
H6	<ul style="list-style-type: none"> Until such a time as the Holding provision is removed only <i>existing uses</i> and a maximum of 9,718 m² of new commercial <i>uses</i> shall be permitted on the lands to which the Highway Commercial-Special Holding (C4-2) <i>zone</i> applies. The new commercial <i>uses</i> that are permitted in this <i>zone</i> include a maximum of 7,581 m² <i>gross floor area</i> of <i>supermarket</i> and non-supermarket retail <i>uses</i>, with the <i>supermarket</i> to occupy a maximum <i>gross floor area</i> of 4,630 m² and the remainder to consist of other permitted commercial <i>uses</i> including non-supermarket retail <i>uses</i>, personal service, <i>office</i> and <i>restaurant uses</i>. Upon application to <i>Council</i>, the (H) provision may be removed to permit additional non-supermarket retail <i>uses</i> and other permitted 	<p>Until such time as a market study is submitted to the satisfaction of the City that such additional <i>uses</i> and <i>gross floor area</i> can be accommodated without impacts on the role, planned function and economic viability of <i>existing</i> and planned commercial areas in the City.</p>

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Table 2.5.2: Holding Provisions

	Holding Permitted Uses Until the Symbol Holding Symbol is Removed	Conditions for Removal of the Holding Symbol
	commercial <i>uses</i> , to the maximum permitted by c)(i) of <i>zone</i> exception (C4-2).	
H7	<i>Existing</i> , legally established <i>uses</i> in existence on the date of passing of this By-law.	Until such time as a Traffic Impact Study has been approved to the satisfaction of the City.
H8	<i>Existing</i> , legally established <i>uses</i> in existence on the date of passing of this By-law.	Until such time as an Urban and Sustainable Design Study, or Urban Design Brief has been approved to the satisfaction of the City.
H9	<i>Existing</i> , legally established <i>uses</i> in existence on the date of passing of this By-law.	Until such time as a Heritage Impact Assessment has been approved to the satisfaction of the City.
H10	<i>Existing</i> , legally established <i>uses</i> in existence on the date of passing of this By-law.	Until such time as an Archaeological Assessment has been approved to the satisfaction of the City.
H11	<i>Existing</i> , legally established <i>uses</i> in existence on the date of passing of this By-law.	Until such time as a Tree Analysis or Tree Preservation Plan has been approved to the satisfaction of the City.
H12	<i>Existing</i> , legally established <i>uses</i> in existence on the date of passing of this By-law.	Until such time as a Noise and/or Light Impact Study has been approved to the satisfaction of the City.
H13	<i>Existing</i> , legally established <i>uses</i> in existence on the date of passing of this By-law.	Until such time as a Market Impact Study, Financial Impact Study, or Capital Impact Assessment has been approved to the satisfaction of the City.

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Table 2.5.2: Holding Provisions

Holding Symbol	Permitted Uses Until the Holding Symbol is Removed	Conditions for Removal of the Holding Symbol
H14	Until such time as the (H14) is removed, a <i>brewery</i> on the lands <i>zoned</i> C4-3 is permitted to have a maximum floor area of 465 m ² .	The (H14) shall not be removed until a noise and odour study has been submitted and approved for a <i>brewery</i> with a floor area of over 465 m ² to the satisfaction of the City.
H15	Until such time as the (H15) is removed, the separation distance between a <i>brewery</i> (with a maximum <i>floor area</i> of 465 m ²), <i>self-storage establishment</i> , <i>scientific or medical laboratory</i> and <i>warehouse</i> is to have a minimum separation distance of 70m between a <i>dwelling unit</i> , <i>retirement home</i> , <i>place of worship</i> , <i>day care centre</i> or <i>private school</i> (measured in a straight line from the nearest part of the <i>building</i> or <i>structure</i> containing the <i>uses</i>) on any lands <i>zoned</i> C4-3 or C4-4.	The (H15) shall not be removed until a noise and odour study is submitted and approved for a <i>brewery</i> with a floor area of less than 465 m ² or a noise study is submitted and approved for a <i>scientific or medical laboratory</i> , <i>self-storage establishment</i> , or <i>warehouse</i> to the satisfaction of the City.
H16	Until such time as the (H16) is removed, a maximum of 707 dwelling units are permitted on the lands <i>zoned</i> R4(2)-16 and R4(2)-17.	The (H16) shall not be removed until servicing has been addressed to the satisfaction of the City of Stratford Engineering Division.
H17	Until such time as the (H17) is removed, no buildings or structures are permitted on lands <i>zoned</i> R4(2)-16.	The (H17) shall not be removed until the works have been completed and accepted to the floodplain to the satisfaction of the City of Stratford Engineering Division.

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Table 2.5.2: Holding Provisions		
	Holding Permitted Uses Until the Symbol Holding Symbol is Removed	Conditions for Removal of the Holding Symbol
H18	Until such time as the (H18) is removed in accordance with the provisions of the Planning Act a restaurant drive through shall not be permitted on the property.	The (H18) shall not be removed until a Traffic Impact Study has been completed to the satisfaction of the City.
H19	Until such time as the (H19) is removed, no building structure or <i>use</i> shall be erected or altered save and except for <i>existing</i> buildings or structures permitted in the applicable zone, until such time as the (H) symbol has been removed in accordance with the provisions of the Planning Act.	The (H19) shall not be removed until the remediation works have been completed for the McNamara Drain to the satisfaction of the Upper Thames River Conservation Authority and the City.
H20	Until such time as the (H20) is removed, only the following <i>uses</i> are permitted: legally established uses in existence on the July 27, 2020.	The (H20) shall not be removed for the subject lands until consent application B06-17 is in full effect and that the heritage designation process as set out under Part IV of the Ontario Heritage Act be completed, with no further appeals.
H21	Until such time as the (H21) is removed, permitted uses shall be limited to <i>existing</i> , legally established <i>uses</i> in existence on the date of passing of this By-law.	The (H21) shall not be removed for the subject lands until all work under building permit 2017-104771 has been completed and inspected to the satisfaction of the Chief Building Official and the building permit file is closed.
H22	Until such time as the (H22) is removed, permitted <i>uses</i> shall be limited to <i>existing</i> , legally established <i>uses</i> in	The Holding Provision (H22) shall not be removed from the subject lands until the remediation works have been completed for the McNamara Drain to the satisfaction of the Upper Thames

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Table 2.5.2: Holding Provisions

Holding Permitted Uses Until the Symbol Holding Symbol is Removed	Conditions for Removal of the Holding Symbol
existence on the date of passing of this By-law.	River Conservation Authority and the City.

2.5.3 Bonus Provisions

The following sections outline the general provisions that provide direction for the determination of the permitted increases in *height* and/or *density*, beyond that permitted in this By-law, in exchange for certain facilities, services, or other matters which provide a community benefit. The City may consider bonus provisions for other matters not expressly defined in this By-law, and in accordance with the Official Plan. An amendment to this By-law shall be required to establish the development standards that would apply when bonusing is granted in exchange for the provision of certain facilities, services, or other matters which provide a community benefit. Notwithstanding the provisions of this section, the bonus provisions applicable to a *lot* may be revised through the site-specific zoning by-law amendment in view of the proposed application and development circumstances.

2.5.3.1 Heritage Building Designation

For *buildings* and/or *structures* designated as historically significant by the City of Stratford, under Part IV or V of the *Ontario Heritage Act*, in consideration for their heritage designation, the following regulations shall apply:

- a) Where Non-Residential Uses are Proposed:
 - i) a 30% increase in the *gross floor area* of the *existing building* and/or a 30% decrease in the required minimum parking for a permitted *use* on the *lot*. Where a maximum *gross floor area* is not specified in this By-law it shall be calculated based on the maximum permitted *building* envelope; or;
- b) Where Residential Uses are Proposed:
 - i) for every 15 m² of *existing* gross building *floor area* of a designated heritage building, 1 additional *dwelling unit* shall be permitted for a permitted *use* on the *lot* to a maximum increase of 30% of the

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permitted maximum *density* (upnh) or *dwelling units* permitted in the *zone*. Where a maximum *density* (upnh) or number of *dwelling units* is not specified in this By-law it shall be calculated based on the maximum permitted *building* envelope.

Where an increase in the *gross floor area* and/or *dwelling units* is permitted, the development shall be in accordance with all other regulations of the applicable *zone*. Where the proposed *building* is a combination of residential and non-residential permitted *uses*, the additional *height* and/or *density* permitted shall not exceed a combined total percentage of a 30% increase in the maximum number of *dwelling units* and non-residential *gross floor area* for the *lot*, and a maximum increase of one additional storey may be permitted.

2.5.3.2 Public Open Space

For every 100.0 m² of *public* open space which is dedicated to the City (in excess of the required parkland dedication), the maximum permitted *density* (upnh) or total number of units of the residential development may be increased by one unit per each 100.0 m² of *public* open space, up to 30% of the maximum permitted *density* (upnh) or total number of units that would otherwise be permitted by this By-law.

2.5.3.3 Day Care Facilities

Where day care facilities are provided within commercial or mixed-*use buildings* of larger than 1,800.0 m², the *floor area* devoted to the day care facilities shall not be included in the maximum gross or gross leasable *floor area* permitted.

2.5.3.4 Underground or In-*Building* Structured Parking

Where underground or in-*building* structured parking is provided to accommodate all the required parking on a *lot*, with the exception of visitor parking, within a residential, commercial or mixed-*use building*, and complies with the requirements of Section 5.3.9 (Structured and Underground Parking) of this By-law, notwithstanding any *density* or *height* provisions of this By-law to the contrary, the permitted *building height* may be increased by 1 *storey*.

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2.5.3.5 Affordable Housing

Where *affordable* housing in the form of ownership housing or rental housing is provided in a residential or mixed-*use building*, for every 2 *affordable dwelling units*, 1 additional *dwelling unit* may be permitted on the *lot* to a maximum increase of 20% of the permitted maximum *density* (upnh) or maximum *dwelling units* permitted in the *zone*. Where a maximum *density* (upnh) or number of *dwelling units* is not specified it shall be calculated based on the permitted *building* envelope. The *affordable* housing shall be maintained on the *lot* for a period of no less than 15 years through an agreement with the City.

Where a *zone* symbol applying to any *lot* or area on Schedule "A" is followed by the bonus provision symbol "-B" and a number, such as R1(1)-B1, an increase in the *height* and/or *density*, beyond that permitted in this By-law, is permitted in exchange for certain facilities, services, or other matters which provide a community benefit, in accordance with Table 2.5.3.

Table 2.5.3: Bonus Provisions

Bonus Provision Symbol	Property Description and Base Zone	Bonus Provision Regulations
B1	<i>Lands bounded by St. Patrick Street, Downie Street, the railway right-of-way and Cooper Street – Grand Trunk Anchor District Zone</i>	<p>Despite the maximum <i>height</i> specified in Section 8.4, a height limit of 45m is permitted if a combination of the following community benefits are provided to the satisfaction of the City:</p> <ul style="list-style-type: none"> • Child care centre • Bicycle sharing infrastructure/program • Significant public realm improvements • Public art contributions • Heritage conservation • Pedestrian improvements • Public art contributions • Heritage restoration • Zero-carbon <i>buildings</i> (as-built) • Reduced carbon emissions • <i>Affordable</i> housing • Accessibility design beyond minimum legislative standards • Smart technology implementation

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The owner/applicant of the lot upon which facilities, services, or matters are to be provided or contributed in return for a bonus provision shall enter into an agreement with the City pursuant to Section 37 of the *Planning Act*, to be registered on title.

2.5.4 Temporary Use Permission

Where a *zone* symbol applying to any *lot* or area on Schedule "A" is followed by the temporary *use* permission symbol "-T" and a number, such as R1(1)-T1, the symbol refers to a temporary *use* permission that applies to the lands so *zoned*. The provisions of this By-law are modified for the lands to which the temporary *use* permission applies as set out in this Section of this By-law and [Table 2.5.4](#), until the permission granted by the applicable Temporary Use By-law expires, in accordance with Section 39 of the *Planning Act*.

Table 2.5.4: Temporary Use Permissions

Temporary Use Symbol	Property Description and Base Zone	Temporary Use Zone Provisions and Expiry Date
<i>None</i>		

2.5.5 Upper Thames River Conservation Authority Regulated Area

Where lands are located within the *Upper Thames River Conservation Authority Regulated Area* as illustrated as an overlay on Schedule "A" they are susceptible to flooding or erosion hazards, as mapped by the *Conservation Authority*, and are subject to the general provisions of [Section 4.29](#) (Upper Thames River Conservation Authority Regulated Area) of this By-law and the requirements of the *Conservation Authority* with respect to the erection of *buildings* and *structures* and/or the placement or removal of fill.

2.5.6 Stratford Municipal Airport and Adjacent Area

Within the area identified in Schedule "A" as being subject to Federal Zoning Regulations for Stratford Municipal Airport, all developments and land *uses* shall comply with Stratford Municipal Airport Zoning Regulations as amended, pursuant to the Canada Aeronautics Act and shall comply with all provisions of the underlying *zone* and shall comply with all other applicable provisions of this By-law.

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ABUT or ABUTTING, when *used* in reference to a *lot*, means a *lot* which shares a boundary with another *lot*, a *street allowance* or a *lane* and when *used* in reference to a *zone* means a *zone* which shares a boundary with a *lot line*.

ACCESSORY, when *used* in reference to a *use, building* or *structure*, means a *use, building* or *structure* that is clearly incidental, secondary or subordinate to, and exclusively devoted to, a *main use, building* or *structure*, and located on the same *lot* therewith.

ACCESSORY GUEST ROOM means a *habitable room* intended for sleeping accommodation, with or without meals, that is clearly incidental, secondary and subordinate to the *dwelling unit* within which it is situated.

ADULT ENTERTAINMENT ESTABLISHMENT means any premises or part thereof in which, in pursuance of a business, a live performance or act appealing, or designed to appeal, to erotic or sexual appetites or inclinations is provided.

AFFORDABLE means:

- a) in the case of ownership housing, the least expensive of:
 - i) housing for which the purchase price results in annual accommodation costs which do not exceed 30 per cent of gross annual household income for low and moderate-income households; or
 - ii) housing for which the purchase price is at least 10 per cent below the average purchase price of a resale unit in the regional market area;
- b) in the case of rental housing, the least expensive of:
 - i) a unit for which the rent does not exceed 30 per cent of gross annual household income for low and moderate-income households; or
 - ii) a unit for which the rent is at or below the average rent of a unit in the regional market area.

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AGRICULTURAL EQUIPMENT SALES OR RENTAL ESTABLISHMENT means an establishment having as its *main use* the sale, rental or leasing of farm equipment, including tractors.

AGRICULTURE USE means the growing of crops such as *nursery* and horticultural crops; aquaculture; apiaries; agro-forestry; maple syrup production; and associated on-farm *buildings* and *structures* and may include a farm dwelling.

AGRICULTURE-RELATED USE means those farm-related commercial and farm-related *industrial uses* that are directly related to farm operations in the area, support *agriculture*, benefit from being in close proximity to farm operations, and provide direct products and/or services to farm operations as a primary activity.

ALTER, when *used* in reference to:

- a) a *building* or *structure*, means:
 - i) to change any one or more of the external dimensions of such *building* or *structure*, or,
 - ii) to make any change in the supporting members or to the type of construction of the exterior walls or roof thereof;
- b) a *lot*, means:
 - i) to change the *lot area*, *lot frontage* or *lot depth* thereof,
 - ii) to change the width, depth or area of any *required yard*, *landscaped open space* or *parking area*, or
 - iii) to change the location of any boundary of such *lot* with respect to a *street* or *lane*, whether such alteration is made by conveyance or other means of any portion of such *lot* or otherwise; or
- c) a *use*, means;
 - i) to discontinue and replace with a *use* defined herein as being distinct

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from the discontinued *use*.

AMUSEMENT ARCADE means a *building* where any number of coin-operated amusement devices (meaning a machine or device operated by means of the insertion of a coin, token or similar object for the purpose of amusement or skill but does not include vending machines, musical devices, billiard tables or pool tables) are available for *use* by the public, whether or not the *use* of any such coin-operated amusement device is temporarily prohibited or made unavailable for a limited period of time, but does not include any establishment, or place where the primary activity or form of amusement is not the operation of coin-operated amusement devices such as *hotels*, roller rinks, *auditoriums* or bowling lanes.

ANIMAL SHELTER means premises, including outdoor areas, *used* for the care of lost, abandoned, rescued or neglected animals, but does not include any establishment engaged primarily in the retail sale of animals or in breeding animals, or a *veterinary clinic*.

ART GALLERY means premises used for the exhibition, collection or preservation of works of art for public viewing.

ATTIC means the area of a *building* between the roof and the ceiling of any *storey* or between a dwarf wall and a sloping roof.

AUCTION SALES ESTABLISHMENT means an establishment where articles are collected, stored and sold by public auction.

AUDITORIUM means a *building* or *structure* where facilities are provided for athletic, civic, educational, recreational, religious or social events including, without limiting the generality thereof, an arena, a community centre, a recreation centre, an assembly hall, a gymnasium or a stadium.

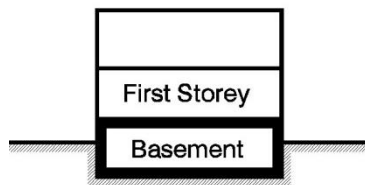
BALCONY means a platform other than a *porch* or *deck* projecting from and supported by the wall of a *building* above ground level, and accessible from inside such *building* by means of a door.

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BARRIER FREE PARKING SPACE means a parking space designated and signed for the exclusive *use* of *motor vehicles* on which the applicable *motor vehicle* permit is properly displayed.

BASEMENT means any portion of a *building* situated below the *first storey*.



BED AND BREAKFAST ESTABLISHMENT means a *dwelling unit* that includes the living accommodations of the principal resident of the establishment, and containing at least 1 bedroom for their exclusive *use* and containing at least one (1) *accessory guest room* for the purposes of supplying temporary overnight living accommodation for the traveling or vacationing public throughout any part of a calendar year. Bed and breakfast establishments shall not include a *restaurant, hotel, inn, short term rental accommodation, boarding house dwelling, nursing home*, or any home licensed, approved or supervised under any general or special Act. The principal *use* of the *dwelling* shall be for residential purposes and the bed and breakfast establishment shall be an ancillary *use* to the *main* residential *use*. *Guest rooms* shall not be suites, and shall not include separate dining areas or facilities for the preparation of food.

BERM means a mound of earth.

BICYCLE PARKING SPACE means a designated area for the exclusive parking of bicycles equipped with a rack/stand designed to lock the wheel and/or frame of a bicycle.

BREW-PUB means a small-scale *brewery* producing beer for sale on the premises or for distribution beyond the premises, with the *floor area* devoted to the production of beer not to exceed 35% of the total *floor area* of the brew-pub, and includes an *accessory* drinking establishment or *restaurant and accessory retail sales*.

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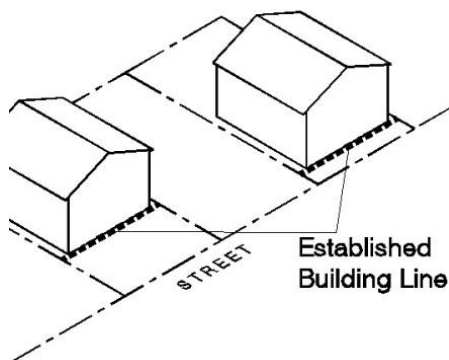
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BREW YOUR OWN ESTABLISHMENT means a service *use* where members of the public can make their own beer, wine or other beverages, for consumption off the premises, and where the owner or operator may retail related equipment or ingredients.

BREWERY means a *building used* for the production of alcoholic beverages including beer, wine, and cider but does not include a *distillery* as defined herein.

BUILDING means any *structure*, or part thereof, consisting of walls and a roof which is *used* or intended to be *used* for the shelter, accommodation or enclosure of persons, animals or chattels, and includes any *structure* defined as a building in the *Building Code Act*, or in the *Corporation's* Building By-law, but does not include any *vehicle* as defined herein other than a *vehicle* which has been permanently placed on land and is not intended for *use* as a *vehicle*.

BUILDING LINE, ESTABLISHED means the setback of an *existing main building* on a *lot*, measured between the *street line* of the said *lot* and the nearest part of such *building*, excluding any *decks*, *porches*, *verandahs*, sun rooms, *balconies*, exterior steps or architectural adornments.



BUILDING PERMIT means a permit required under the *Corporation's* Building By-law.

BUILDING MATERIALS YARD means an establishment, the primary *use* of which is the wholesaling of lumber and other building construction materials and supplies, but does not a large format retail store.

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BUS TRANSPORTATION TERMINAL means a premises or area of land *used* for storing, parking or dispatching of buses, including servicing or repair within an enclosed *building*.

BUSINESS OFFICE means a *building* in which persons are engaged in the management, direction or conduct of the affairs of a *public* or private agency, business, or labour or fraternal organization, but does not include a *professional office* or a *clinic*.

CANNABIS has the same meaning as in subsection 2(1) of the Cannabis Act (Canada), as may be amended and/or replaced from time to time.

CANNABIS PRODUCTION FACILITY means any *building* or *structure* licensed and/or authorized to possess, sell, provide, ship, deliver, transport, destroy, produce, export and/or import *cannabis*, including related research under, the *Cannabis Act (S.C. 2018, c. 16)* and *Cannabis Control Act, 2017 (S.O. 2017, c.26, Sched. 1)*.

CARPORT means a *building* or *structure* that is open at each end and at least on one side, having a roof supported by columns or piers, intended to shelter a *motor vehicle*.

CAR WASH means a *building* or *structure* containing facilities *used* or intended to be *used* primarily for washing, cleaning or drying of *motor vehicles*, which includes a self-service, automatic or coin-operated car wash.

CEMETERY means land that is *used* or intended to be *used* as a place for the interment of the dead or deceased or in which human bodies have been buried, and includes an animal or pet cemetery.

CENTRAL BUSINESS DISTRICT or CBD means the area designated Central Business District on Schedule "A".

CLINIC means a *building* designed and *used* for the diagnosis, examination, and treatment of human patients by a Provincially-recognized medical professional, including pharmacies and dispensaries, waiting rooms, treatment rooms, blood testing clinics, but shall not include overnight accommodation for in-patient care.

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CLINIC, METHADONE means a *clinic used* for the dispensing of methadone and associated treatment of addiction patients and is licensed in accordance with Provincial legislation.

CLUSTER means a grouping of *buildings* on a *lot* in close proximity to each other.

COMMERCIAL GREENHOUSE means a *building* for the growing of flowers, plants, shrubs, trees and similar vegetation which are not necessarily transplanted outdoors on the same *lot* containing such greenhouse, but are sold directly from such lot at wholesale or retail.

CONDOMINIUM means a *building* or grouping of *buildings* in which units are held in private ownership and floor space, facilities and outdoor areas *used* in common are owned, administered and maintained by a corporation created pursuant to the provisions of the appropriate statute.

CONDOMINIUM, COMMON ELEMENT means spaces and features owned in common by all shareholders in a *condominium* and may include *common element roadways, walkways*, sidewalks, parking and amenity areas.

CONDOMINIUM, COMMON ELEMENT ROADWAY means a right-of-way for vehicular and pedestrian access that is privately maintained by a corporation created pursuant to the provisions of the appropriate statute.

CONSERVATION USE means a *use* dedicated towards the preservation, protection and/or improvement of components of the natural environment through management and maintenance.

CONSERVATION AUTHORITY or UPPER THAMES RIVER CONSERVATION AUTHORITY (UTRCA) means a conservation authority established under the *Conservation Authorities Act* having jurisdiction in the City of Stratford.

CONTRACTOR'S YARD OR SHOP means the *use* of land, *buildings* or *structures* for the purpose of storing equipment, *vehicles*, or material, or for performing shop works or

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assembly work by any building trade or other construction contractor.

CONVENIENCE STORE means a *retail store* wherein a variety of items of a convenience or day-to-day nature including, but without limiting the generality of the foregoing, food, beverages, tobacco products, drugs or periodicals are kept for sale, and may include the incidental rental of videos or other similar items up to a maximum size of 300m².

CORPORATION means The Corporation of the City of Stratford.

COUNCIL means the Council of The Corporation of the City of Stratford.

COUNTY means The Corporation of the County of Perth.

CREMATORIUM means a premises *used* for the cremation of human or animal remains.

CULTURAL INSTITUTION means the *use* of a premises for the promotion and enjoyment of music, art, theatre and literature.

DATA CENTRE means a *building* in which persons are engaged in the management or record keeping of the affairs of a corporation such as a data processing or computer centre or a records management centre, and where no services for business transactions are provided to the general public.

DAY CARE CENTRE means a *building used* for the day-time care of children licensed by the Province under the *Child Care and Early Years Act*, and includes a licensed child care or licensed day care centre.

DECK means a *structure* other than a *porch* or *balcony accessory* to a *building*, consisting of a platform raised above and supported from ground level.

DENSITY means the number of *dwelling units* on a *lot* expressed as units per net hectare.

DISTILLERY means a *building used* for the distilling of alcoholic beverages or beverage products with high alcoholic content, where the *use* may involve the milling of grain, rice

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or malt but does not include a *brewery*.

DRIVE THROUGH means the *use* of *buildings* and *structures* for the provision of prepared food and beverages where the food or drink is served to customers who are inside their *vehicles*, or the provision of self-serve facilities which are accessed by customers who are inside their *vehicles*, such as an Automated Teller Machine as part of a *financial institution*, a drive-through pharmacy, automatic *car wash*, or similar *use*.

DRIVEWAY means a *vehicle* access provided between a street or *lane* and a *parking area* or a loading or unloading space or between two *parking areas* but does not include a *parking aisle*.

DRY CLEANING DROP OFF ESTABLISHMENT means a *building* or part of a *building used* for the purpose of receiving articles of clothing, goods or fabric to be dry cleaned, dyed or laundered elsewhere and for the pressing and distribution of any such articles of clothing, goods or fabric.

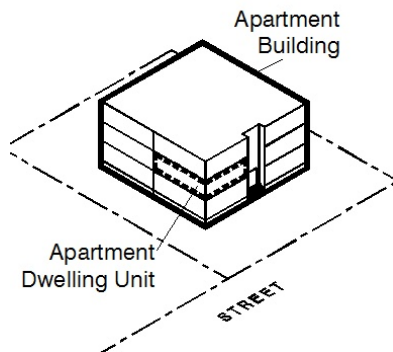
DRY CLEANING ESTABLISHMENT means a *building* where dry cleaning, laundering, cleaning or pressing of articles or goods of fabric is undertaken.

DWELLING or DWELLING UNIT means a *building* containing 1 or more self-contained suites of *habitable rooms* in a *building*, occupied by a person, for no less than 30 days in a calendar year, as its *principal residence* as independent and separate living quarters in which kitchen and sanitary facilities are provided and which is independently accessible from outside the *building* or from a common hallway or stairway inside the *building*. A dwelling unit shall contain no more than five bedrooms.

APARTMENT BUILDING means a *building* containing 5 or more *dwelling units*, owned or rented as a *principal residence*, each unit of which is independently accessible from a corridor system connecting with a common entrance from outside the *building* or from an independent entrance from outside the *building*, and where the occupants of such units have the common right to *use* halls, stairs, elevators and yards.

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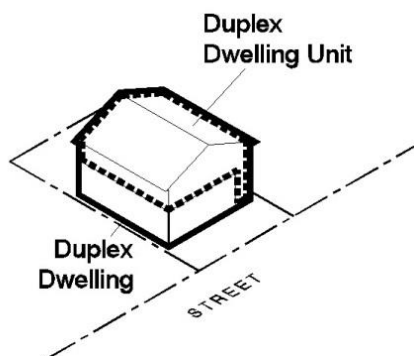
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BOARDING HOUSE DWELLING means a *single detached dwelling* occupied by the owner or principal tenant thereof as their *principal residence* and contains two or more *guest rooms* rented or intended to be rented for a weekly or longer period, and includes a rooming house.

CONVERTED DWELLING means a purpose-built *single detached dwelling* that has been altered or otherwise converted to contain more than 1 *dwelling unit*, which may be divided horizontally or vertically.

DUPLEX DWELLING means a *building* other than a *converted dwelling* or *semi-detached dwelling* which is divided horizontally into 2 *dwelling units*, each of which has an independent entrance either directly from a *yard* or from a common vestibule.

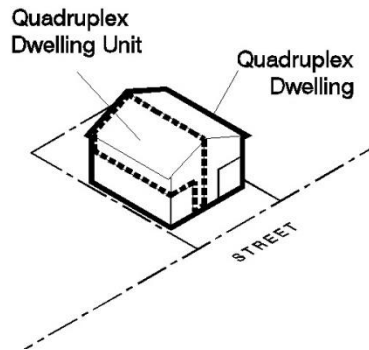


QUADRUPLEX DWELLING means a *building* other than a *converted dwelling* or a *townhouse dwelling* containing 4 *dwelling units*, each of which has an independent

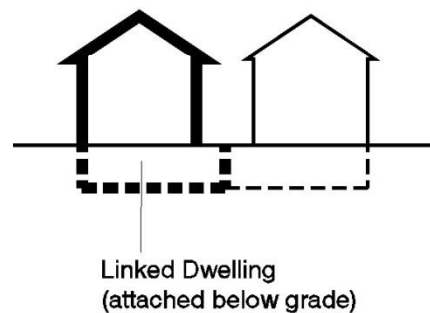
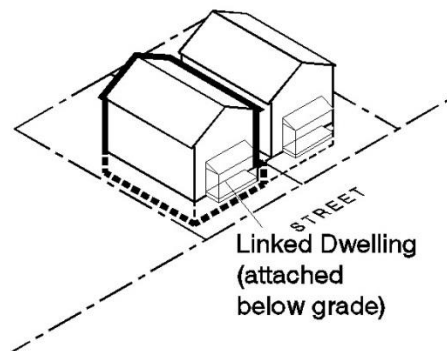
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entrance either directly from a *yard* or from a common vestibule.



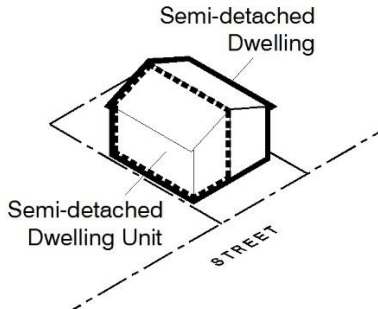
LINKED DWELLING means a *building* containing 2 *dwelling units* which are attached together in whole or in part solely below *finished grade*, each of which has a private independent entrance directly from a *yard*, the said pair of *dwelling units* being freestanding, separate and detached from other *main buildings* or *main structures*.



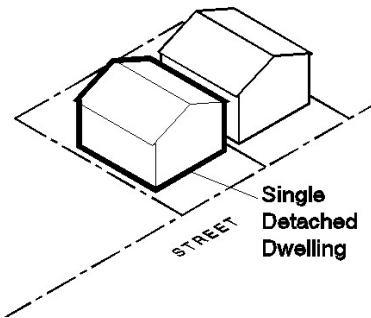
SEMI-DETACHED DWELLING means a *building* containing 2 *dwelling units* which are attached together in whole or in part above *finished grade* and divided vertically from each other by a common wall, each of which has a private independent entrance directly from a *yard*, the said pair of *dwelling units* being freestanding, separate and detached from other *main buildings* or *main structures*.

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SINGLE DETACHED DWELLING means a *dwelling* containing not more than 1 *dwelling unit*.



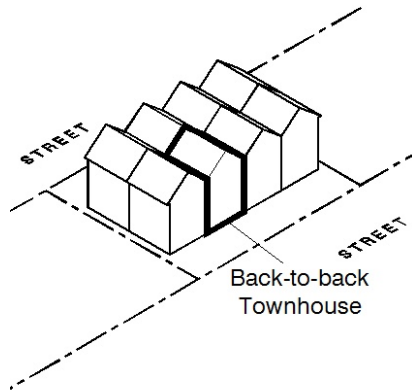
TOWNHOUSE DWELLING:

TOWNHOUSE DWELLING, BACK-TO-BACK means a *building* containing four or more *dwelling units* divided by vertical common walls above grade, including a

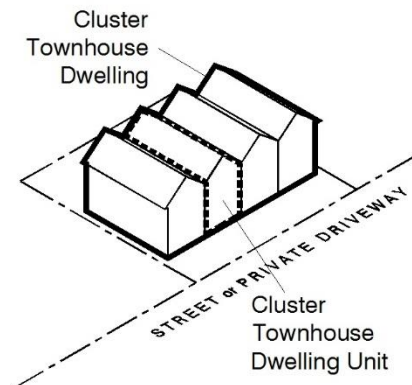
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common rear wall, with each *dwelling unit* having a private independent entrance from a *yard*.



TOWNHOUSE DWELLING, CLUSTER means a *building* containing a row of 3 or more *dwelling units* which are attached vertically, in whole or in part, above grade and divided vertically from each other by a common wall, with each *dwelling unit* having a private independent entrance from a *yard*. A cluster townhouse dwelling includes a *stacked townhouse dwelling* and a *back-to-back townhouse dwelling*.

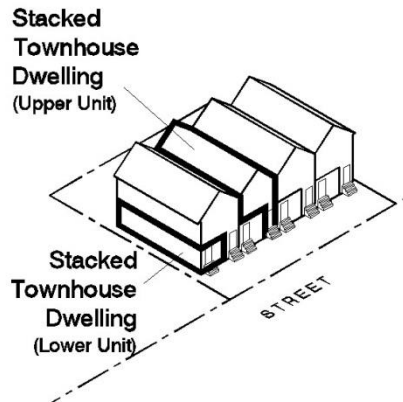


TOWNHOUSE DWELLING, STACKED means a *building* containing 3 or more *dwelling units*, with each *dwelling unit* separated from the other both horizontally

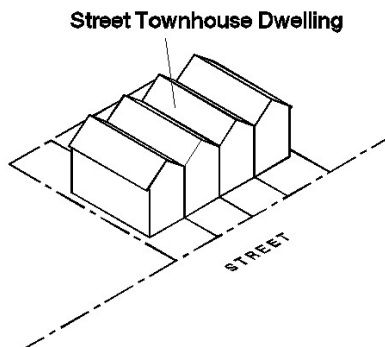
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and vertically that may have a private independent entrance from a *yard* or a shared entrance from a common corridor, vestibule, or landing.



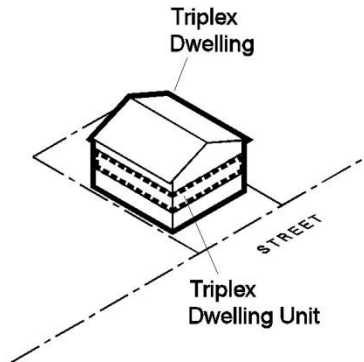
TOWNHOUSE DWELLING, STREET means a *building* containing a row of 3 or more *dwelling units* which are attached vertically, in whole or in part, above grade and divided vertically from each other by a common wall, with each *dwelling unit* situated on a *lot* with each said *lot* containing thereon a *parking area*, said *parking area* having direct access from a *street* over the said *lot*, and having a private independent entrance from a *yard*.



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TRIPLEX DWELLING means a *building*, other than a *converted dwelling* or a *townhouse dwelling*, which is divided into 3 *dwelling units*, each with independent entrances directly from a *yard* or from a common vestibule.



DWELLING UNIT AREA means the aggregate of the *floor areas* of all *habitable rooms*, bathrooms, kitchen areas, lobbies and hallways within a *dwelling unit*, and the thickness of any exterior walls.

EQUIPMENT RENTAL ESTABLISHMENT means an establishment for the rental of equipment *used* or intended for *use* for purposes other than general household maintenance and repairs, and where outdoor storage may be required, and includes, without limiting the generality of the foregoing, farm equipment, construction equipment, but excludes a *merchandise rental shop*.

EQUIPMENT SERVICE ESTABLISHMENT means an establishment wherein equipment and machinery are repaired or serviced and includes, without limiting the generality thereof, appliances, industrial toolage, or commercial, farm, industrial or construction machinery and equipment, but excludes, a *merchandise service shop*.

ELEVATION or BUILDING ELEVATION means the height of a *building* or *structure*, above the *finished grade*.

ERECT means to build, place, construct, reconstruct, locate, relocate or alter by means of an addition, enlargement, extension, or placement of a *structure*, including any preliminary physical operation preparatory to such *building*, construction, reconstruction, relocation, or placement of a *structure*, including, but not so as to limit the generality of

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the foregoing, excavating, filling or draining, and erected or erection have corresponding meanings.

EXISTING, when used in reference to a *lot*, *building* or *structure*, means a *lot*, *building* or *structure* lawfully in existence on the date of the passing of this By-law and continually used since its lawful establishment. Existing, when used in reference to a *use*, means a *use* lawfully in existence on the date of the passing of this By-law and continually used since its lawful establishment.

FACTORY STORE means a *building* or *structure*, wherein products which are manufactured, produced, or processed therein are kept or displayed for wholesale or retail sale, or wherein orders are taken for the delivery of such products.

FINANCIAL INSTITUTION means a *building* where money is deposited, withdrawn, kept, loaned, invested, and/or exchanged and, without limiting the generality of the foregoing, includes a bank, trust company, credit union or an investment or brokerage firm.

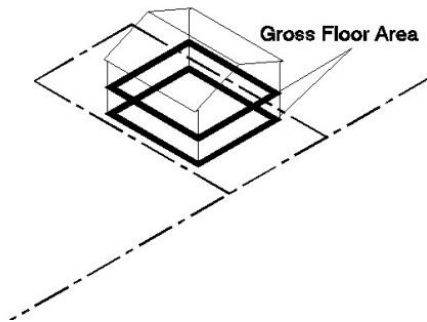
FITNESS CLUB means a *building* where facilities, machines and equipment are provided for *use* by the public or to members, for the purposes of physical training and improving physical health and fitness.

FLOOR AREA:

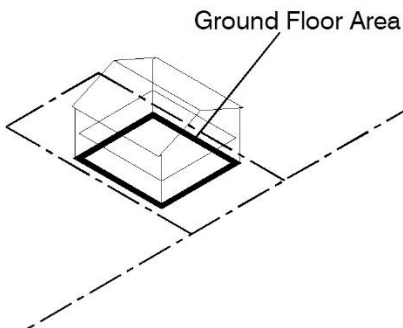
GROSS FLOOR AREA means the aggregate of the floor areas of all *storeys* of a *building* or *structure*, excluding an *attic*, and excluding the *floor area* of any attached *private garage*.

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GROUND FLOOR AREA means the *floor area* of the ground or *first storey* of a *building*, excluding the *floor area* of any attached *private garage*.



NET FLOOR AREA means that portion of the *gross floor area* of a *building* which is *used* exclusively for a non-residential *use* defined herein, but excluding:

- a) any part of such *building used* for any other non-residential *use* defined herein;
- b) any part of such *building used* as a *dwelling unit*, a public concourse, or a common hallway or stairway not *used* exclusively by the said non-residential *use*;
- c) any part of such *building used* solely for the storage of electrical equipment or of equipment to heat, cool, or otherwise control the environment of, such *building* or a portion thereof; and
- d) the thickness of any exterior walls of such *building*.

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FOOD PROCESSING ESTABLISHMENT means a *building* in which agricultural products intended for human consumption are prepared, processed, preserved or stored, and includes, without limiting the generality of the foregoing, a butchering establishment, a dairy, a hatchery, a soft drink manufacturing establishment, or a *brewery* or *distillery*, but excludes a *restaurant* or other establishment where foods are prepared for immediate consumption or retail sale.

FUEL STORAGE DEPOT means a *lot*, with or without *buildings* or *structures*, whereon fuel tanks are kept or stored on a permanent or temporary basis for the purpose of storing fuels to be *used* for wholesale or retail distribution, but excludes a *gas bar* or *motor vehicle service station* or other distributor of *motor vehicle* fuels.

FUEL STORAGE TANK means a tank *used* or intended to be *used* for the bulk storage of combustible, corrosive or inflammable liquids, gases or other material, including, but not so as to limit the generality of the foregoing, petroleum or petroleum products, fuels, or chemicals.

FUNERAL HOME means a *building* wherein the deceased are preserved or otherwise prepared for bereavement display or interment by an undertaker, and may include deceased animals, or a chapel for funeral services, but does not include a *crematorium*.

GARAGE means an attached or detached *building* or *structure* which is *used* or intended to be *used* for the sheltering of *vehicles*, and which there are no facilities for repairing or servicing such *vehicles*, and includes a *carport*.

MUTUAL GARAGE means a *private garage* which:

- a) contains sufficient space for the parking of not less than two permitted *vehicles* for common *use* by occupants of two adjoining *lots*;
- b) contains sufficient space for the parking of not less than two permitted *vehicles* for common *use* by occupants of two adjoining *lots*;
- c) is situated astride the common *side lot line* between two adjacent *lots*; and

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d) is *accessory* to a *main use* on each of such *lots*.

PRIVATE GARAGE means a *garage* that is not intended for *use* by the general public.

GARDEN CENTRE means an establishment wherein plants, shrubs, trees, lawn and garden equipment, furnishings and related supplies are offered for retail sale.

GARDEN SUITE means a small independent *building*, physically separate from the principal *dwelling unit* with which it is associated, which may be *used* as a *dwelling unit*, or for activities *accessory* to those permitted in the principal *dwelling unit*, and which may have a primary access from a rear *lane abutting* the *lot* upon which both the garden suite and its associated principal *dwelling unit* are located.

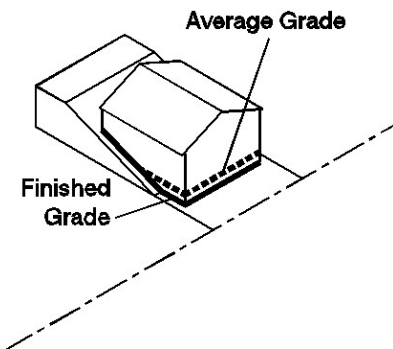
GAS BAR means an establishment wherein *motor vehicle* fuels and lubricants are offered for retail sale including, without limiting the generality thereof, gasoline, diesel, propane and other such fuels, any may include a *convenience store* for the retail sale of convenience items as an *accessory use*, but excludes a *motor vehicle service station*.

GOLF COURSE means the *use* of land for the purposes of playing golf and without limiting the generality of the foregoing may include a par three *golf course*, a driving range as an *accessory use*, a miniature *golf course*, club house or combination thereof, and *structures* devoted to the maintenance and operation of the *golf course*.

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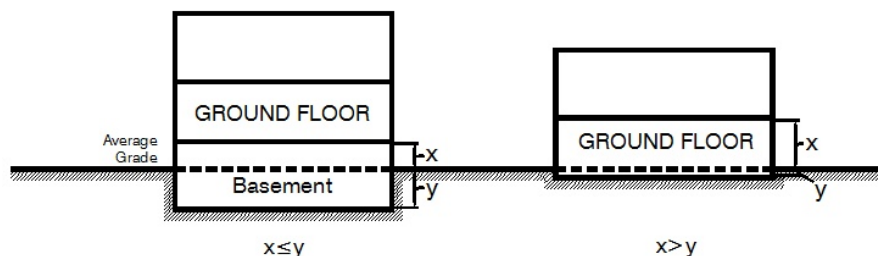
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GRADE, FINISHED, when *used* in reference to a *building* or *structure*, means the *elevation* of the finished surface of the ground adjoining the base of all exterior walls of a *building* or the *elevation* of the finished surface of the ground at the base of a *structure*, exclusive of any artificial embankment at the base of such *building* or *structure*.



GRADE, AVERAGE, when *used* in reference to a *building* or *structure*, means the average *elevation* of the *finished grade*.

GROUND FLOOR means the *first storey* above *average grade* level and includes a level situated partially below grade where the *height* of such *storey* is more than fifty (50) per cent above *average grade* level, such *height* being measured from top of the floor to the bottom of the ceiling joists of that *storey*.



GROUP HOME means a *building* that is licensed or funded under an Act of the Parliament of Canada or the Province of Ontario for the accommodation of persons exclusive of staff,

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living under supervision and who, by reason of their emotional, mental, social or physical condition or legal status, require a group living arrangement for their well-being, but does not include a place maintained and operated primarily for the care of or occupation by inmates or persons placed on probation or released on parole or for any other correctional purpose.

HABITABLE ROOM means a room which can be *used* at all times throughout the year and is designed for living, sleeping or dining, and, when *used* in reference to a *dwelling*, includes any other room not defined herein as a *non-habitable room*.

NON-HABITABLE ROOM when *used* in reference to a *dwelling*, means any room or other area in a *dwelling*, other than a *habitable room*, and includes, without limiting the generality of the foregoing, a laundry room, a pantry, a kitchen, kitchen space or alcove, a bathroom, a lobby or vestibule, a communicating corridor, a stairway, a closet, a *basement* recreation room, an unfinished *attic* or *basement*, a *sunroom*, *verandah*, *porch* or *balcony*, a *garage*, or any space *used* for the service and maintenance of such *dwelling* or for vertical travel between *storeys*.

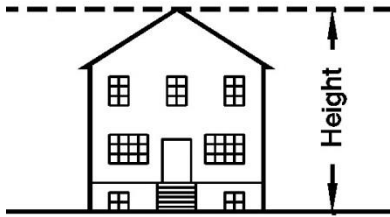
HAZARD LANDS means lands which exhibit a hazardous condition as a result of their instability; susceptibility to flooding, erosion, subsidence; or the presence of organic soils; or instability associated with ravine, river valley or stream processes and includes lands lying below the *regulatory flood* line and below the fill line as established from time to time by the *Conservation Authority* and shall include lands lying within the one to two hundred and fifty (1:250) year erosion limit as established by the *Conservation Authority*.

HAZARDOUS SUBSTANCES means substances which, individually, or in combination with other substances, are normally considered to pose a danger to public health, safety and the environment. These substances generally include a wide array of materials that are toxic, ignitable, corrosive, reactive, radioactive or pathological.

HEIGHT when *used* in reference to a *building* or *structure* or any part thereof specifically referred to herein, means the vertical dimension between the *average grade* at the base of such *building* or *structure* and the highest point of such *building* or *structure* or part thereof, exclusive of any permitted height exceptions.

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HOBBYIST means a person who makes goods, wares or merchandise such as toys, crafts, sewn items or similar products, or who repairs or refinishes antiques or other items, or who collects and/or restores goods, wares or merchandise, but excludes an *motor vehicle* mechanic, baking, or the retail display and/or selling of such products to the public from the *dwelling* of such hobbyist, or any *open storage*.

HOME OCCUPATION means an occupation conducted as an *accessory use*, entirely within a *dwelling* or *accessory building* or *structure* providing the proprietor carrying on the activity resides within the *dwelling unit* containing the home occupation, and includes, without limiting the generality thereof:

- a) the workplace of a *hobbyist*;
- b) a teacher, or a person engaged in consultation, treatment or instruction;
- c) the provision of a personal care service;
- d) the workplace of a person engaged in a profession, but excludes a *business* or *professional office*, or a *studio*;
- e) *private home day care*; and
- f) the workplace of an author or an artist.

HOSPICE means a premises providing palliative care or respite to resident patients.

HOSPITAL means any *public* or private institution under Provincial legislation established for the treatment of convalescent or chronically ill persons afflicted with sickness, disease

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or injury, that is approved under the applicable statute, and may include research and educational facilities.

HOSTEL means a *building* accredited or recognized by a hostelling association or operated by a non-profit organization in which rooms intended for sleeping accommodation only are offered, and which contains common washrooms and which may contain *accessory* rooms for dining, recreational, educational or other similar purposes and may include 1 *accessory dwelling unit* for the owner or operator thereof.

HOTEL means a *building* containing *guest rooms* for the temporary lodging of the travelling public and may include meeting facilities, recreation facilities, a *restaurant*, *public* hall, and *retail stores*, which are incidental and subordinate to the primary hotel function and located in the same *building*.

INDUSTRIAL MALL means a *building* designed and constructed as a unit containing at least 3 physically separate and independent establishments and provided with common *parking areas*, *driveways*, and other shared *accessory* facilities and services and which is held under single ownership, *condominium* ownership, co-operative or similar arrangement.

INDUSTRIAL USE means the *use* of land, *buildings* or *structures* for manufacturing, assembling, preparing, processing, inspecting, finishing, treating, altering, ornamenting, repairing, refinishing, restoring, producing, or adapting for sale of any goods, substances or articles, and includes the warehousing or storing of such products.

INFRASTRUCTURE means physical *structures* (facilities and corridors) that form the foundation for development. Infrastructure includes: sewage and water systems, septage treatment systems, waste management systems, electric power generation and transmission, communications/ telecommunications, transit and transportation corridors and facilities, oil and gas pipelines and associated facilities.

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INN means a *building used* for the purposes of supplying temporary living accommodation to the public, and containing a maximum of 10 *guest rooms, dwelling units* or combination thereof wherein such *dwelling units* are not restricted to occupancy by a person as their *principal residence* and may include 1 *accessory dwelling unit* for the owner or operator thereof.

INNOVATION INCUBATOR means the use of a premises for an organization related to providing a hub for health, technology, arts, culture, environmental, social, or other like *uses*.

INSTITUTIONAL USE means the *use* of land, *buildings* or *structures* for non-commercial, non-industrial and non-residential purposes, and shall include a *public or private school, place of worship, day care centre, nursing home*, fire station, police station, ambulance dispatch office, ambulance terminal, administrative office of a municipal, provincial or federal government agency, *auditorium, hospice, hospital, library*, museum, *park, and recreational park*, or other similar type *uses*.

LANDSCAPED OPEN SPACE means land which is:

- a) unoccupied by any enclosed space within *building* or *structure*;
- b) situated at ground level;
- c) *used* or intended to be *used* for landscaping which includes the growth and maintenance of grass, flowers, shrubs, bushes, trees or other vegetation, and for the provision of other landscaping features including, but not necessarily restricted to, *planting strips*, decorative fencing, recreational or play areas, gardens, rooftop gardens, fountains, fish ponds, uncovered swimming pools, uncovered *decks, porches*, terraces and *walkways* but excluding *driveways* and *parking areas*.

LANE means a right-of-way not intended for general traffic circulation that provides *motor vehicle* access to an *abutting lot* and does not include a private road or a *public* road.

LARGE MERCHANDISE OUTLET means a *building* in which large items including, without limiting the generality thereof, furniture, appliances, machinery, floor coverings, or other

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items not appropriate for carrying out of such outlet by customers, are offered or kept for retail sale or rent to the public, but excludes food items and building materials.

LAUNDROMAT means a *building* containing machines for washing and drying clothes by the general public, but excludes a laundry room intended for *use* only by specified persons.

LIBRARY means a library branch or distributing station as defined in the *Public Libraries Act*.

LICENSED GAMING ESTABLISHMENT means a *building used* exclusively as a gambling or gaming hall established by, and under the control of, the Province.

LIVESTOCK FACILITY means one or more barns or permanent *structures* with livestock occupied portions, intended for keeping or housing of livestock. A livestock facility also includes all manure or material storages and anaerobic digesters.

LOADING DOCK means that area of a platform or other *structure* adjacent to or within a *building* or *structure* that is *used* or intended to be *used* for unloading from, or loading onto, a truck, railway car or other *vehicle*, goods, articles, things or substances.

LOADING SPACE means that area located on the same *lot* as the *use* it serves or is intended to serve, and *used* for the parking of a *vehicle* for the loading or unloading of goods, articles, things or substances pertinent to such *use*.

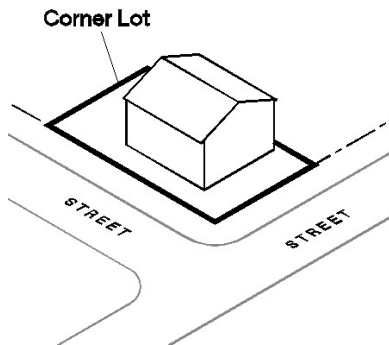
LOT means a parcel of land, described in a *registered* deed or other document legally capable of being conveyed.

CORNER LOT means a *lot* situated at the intersection of two or more *streets* or upon two parts of the same *street* having an angle of intersection not exceeding 135 degrees. In the case of a curved corner, the corner of the *lot* shall be that point on the flankage *lot line* and *front lot line* nearest to the point of intersection

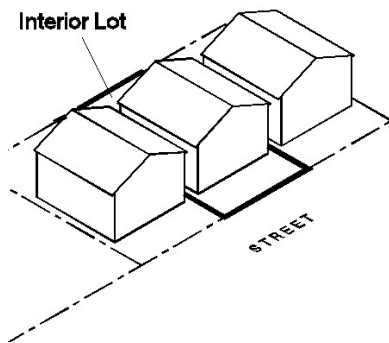
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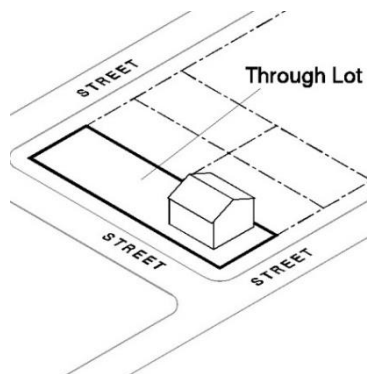
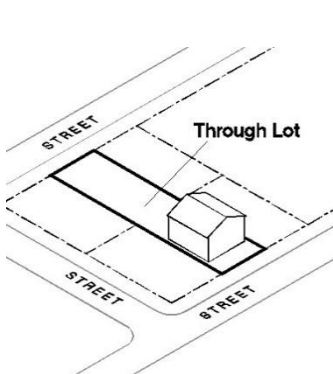
of the continued projections of the flankage *lot line* and the *front lot line*.



INTERIOR LOT means any *lot*, other than a *corner lot* or *through lot*.



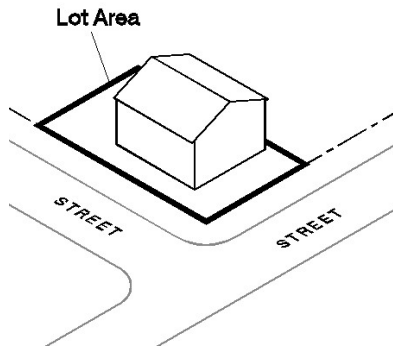
THROUGH LOT means any *lot*, other than a *corner lot*, having separate *lot lines abutting* at least 2 separate *streets*.



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LOT AREA means the total surface area within the *lot*.



LOT COVERAGE means that portion of the area of a *lot* covered by the perpendicular projections of all *buildings*, including *accessory buildings* and *structures*, unless otherwise specified, on that *lot* onto a horizontal plane, excluding *balconies*, uncovered *decks*, *porches*, terraces, and canopies and overhanging eaves which are 2.0 m or more in *height* above *finished grade*, and uncovered swimming pools and hot tubs.

LOT DEPTH means:

- a) the shortest distance between the *rear lot line* and the *front lot line* of a *lot*, where such front and *rear lot lines* are parallel;
- b) the average distance between the *rear lot line* and the mid-point of the *front lot line* of a *lot*, where such front and *rear lot lines* are not parallel;
- c) the distance between the mid-point of the *front lot line* and the point of intersection of the *side lot lines* of a *lot*, where there is no *rear lot line*.

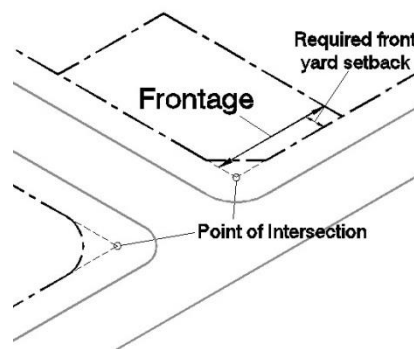
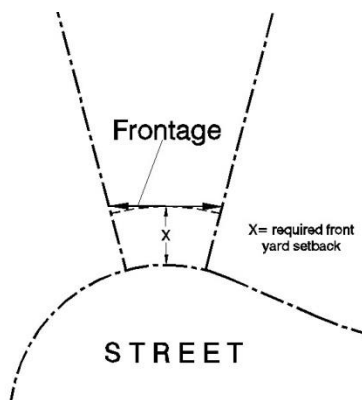
LOT FRONTAGE means the horizontal distance between the *side lot lines* of a *lot*, such distance being measured along a line which is parallel to the *front lot line* and measured at the required setback.

- a) In cases where the *front lot line* is narrower than the line at the required setback, the *lot* frontage shall be the shortest distance between the *side lot lines* measured at the *front yard* setback.
- b) In the case of a *corner lot* where the *front lot line* and the flankage *lot line*

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do not intersect because of a curved corner or *daylight triangle*, the *front lot line* and flankage *lot line* shall be deemed to extend to their hypothetical point of intersection where the horizontal distance between the *interior side lot line* and hypothetical flankage *lot line* is measured parallel to and measured at the *front yard setback*.



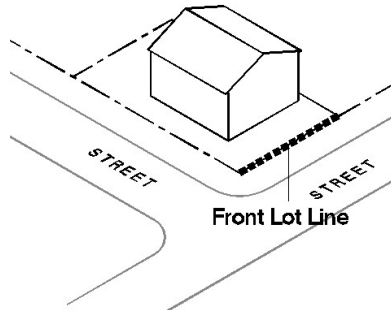
LOT LINE means any boundary of a *lot*, and includes the vertical projection therefrom.

FRONT LOT LINE means:

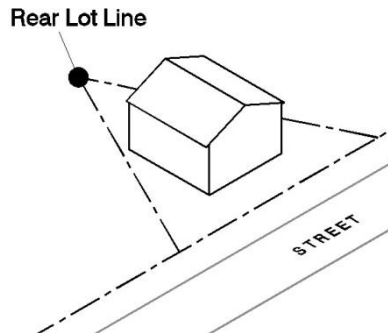
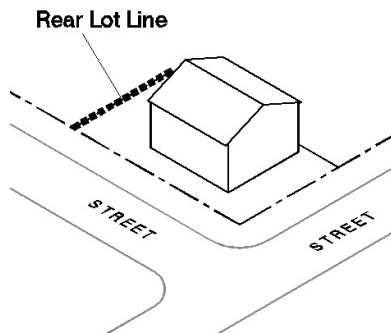
- in the case of an *interior lot*, the *lot line* that *abuts* a street or a *reserve* owned by the *Corporation* on the opposite side of which is a *street*;
- in the case of a *corner lot*, the shorter *lot line* that *abuts* a *street* or a *reserve* owned by the *Corporation* on the opposite side of which is a *street*, whereas the other *lot line* shall be deemed an *exterior side lot line*; or
- in the case of a *through lot*, the *lot line* that *abuts* the wider *street allowance*, as identified as the design width on Schedule "B" shall be deemed to be the front lot line, but where the *streets* are of equal width, the lot line which *abuts* the higher street classification as identified on Schedule "B", shall be deemed to be the front lot line, and in the case of both *streets* being under the same jurisdiction, *street width*, or road classification, the City may designate which *street line* shall be the front lot line.

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REAR LOT LINE means the *lot line* opposite to, and most distant from, the *front lot line*, but where the *side lot lines* intersect, as in the case of a triangular *lot*, the rear lot line shall be represented by the apex of the triangle formed by the intersection of the *side lot lines*.

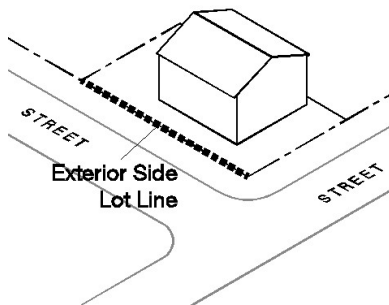


SIDE LOT LINE means a *lot line* other than a front or *rear lot line*.

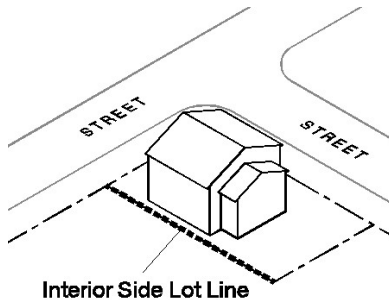
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EXTERIOR SIDE LOT LINE means a *side lot line* that *abuts* a *street line* or *reserve* owned by the *Corporation* that *abuts* a *street*.



INTERIOR SIDE LOT LINE means a *side lot line* other than an *exterior side lot line*.



MAIN, when *used* to describe a *use*, *building* or *structure*, means a *use* which constitutes, or a *building* or structure in which is conducted, the primary *use* of the *lot* on which such *use*, *building* or *structure* is located.

MECHANICAL ROOF TOP PENTHOUSE means a room or enclosure on the roof of a *building* exclusively *used* for mechanical equipment, a stair tower, elevator equipment, or any combination thereof.

MERCHANDISE RENTAL SHOP means a *building* wherein the *main use* is the rental of goods, wares or merchandise and includes, without limiting the generality of the foregoing, videos, clothing, costumes, party supplies or equipment intended for personal *use* or household maintenance, but excludes any *open storage*, or an *equipment rental establishment* or a *vehicle rental establishment*.

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MERCHANDISE SERVICE SHOP means a *building* wherein articles, small appliances or goods, or equipment or machinery *used* for construction or industrial purposes, are repaired or serviced, or where replacement parts for such articles or goods are offered for sale.

MICROBREWERY means a *building* or part thereof *used* for the small-scale production of beverages including beer, wine and cider.

MINIMUM DISTANCE SEPARATION (MDS) FORMULAE means formulae and guidelines developed by the province, as amended from time to time, to separate uses so as to reduce incompatibility concerns about odour from livestock facilities.

For reference:

MDS I – provides the minimum distance separation between proposed new development and any existing livestock barns, manure storages and/or anaerobic digesters; and

MDS II – provides the minimum distance separation between proposed new, expanding or re-modelled livestock barns, manure storages and/or anaerobic digesters and existing or approved development.

MODEL HOME means a *building* which is *used* on a temporary basis as a sales office or as an example of the type of *dwelling* that is for sale in a related development and which is not occupied or *used* as a residential *dwelling*.

MOTOR VEHICLE BODY SHOP means a building where motor *vehicles* are kept, stored, or repaired, including the complete repair to motor *vehicle* bodies, frames and motors, and the painting, upholstering, washing and cleaning of such *vehicles*.

MOTOR VEHICLE REPAIR SHOP means a *building* which contains facilities for the repair and maintenance of *vehicles* on the premises and in which *vehicle* accessories are sold and *vehicle* maintenance and repair operations are performed and may include minor repairing or minor painting of *vehicle* bodies.

MOTOR VEHICLE SALES OR RENTAL ESTABLISHMENT means an establishment for the sale, rental or leasing of *motor vehicles*, *commercial vehicles* and motor *vehicles*.

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MOTOR VEHICLE SERVICE STATION means a *building* where motor *vehicle* fuels, lubricants and related accessories are offered for sale to the general public and which contains facilities for the minor incidental repair and maintenance of motor *vehicles* and does not include a *gas bar*.

NURSERY means a place where plants, trees or shrubs are grown or stored for the purpose of transplanting, for use as stocks for building or grating or for the purpose of retail or wholesale together with the sale of soil, planting materials, fertilizers or similar materials and includes a *commercial greenhouse*.

NURSING HOME means a *building* wherein lodging, meals, personal care, nursing services, and medical care and treatment are provided and may include a *hospice*, but excludes a *hospital* or *retirement home*.

OFFICES means a *business office*, a *professional office*, a *clinic*, or a *veterinarian clinic*, as defined in this By-law.

OFFICES, FEDERAL, PROVINCIAL OR MUNICIPAL means a *building* in which persons are engaged in the management, direction or conduct of the affairs of a federal, provincial or municipal agency.

ON-FARM DIVERSIFIED USE means *uses* that are secondary to the principal agricultural use of the property and are limited in area. On-farm diversified *uses* include: but are not limited to, *home occupations*, home industries, agri-tourism *uses*, and *uses* the produce value-added agricultural products.

OUTDOOR AMENITY SPACE means an area of land, *balcony*, *deck*, terrace, the roof of a *private garage* or the roof of a parking *structure*, which includes *landscaped open space* and may include areas of decorative paving or other similar surface, provided such surface is not used for vehicular *use*.

PARK means an area of land consisting primarily of natural or *landscaped open space* which may be *publicly* or privately owned, and may include, without limiting the generality

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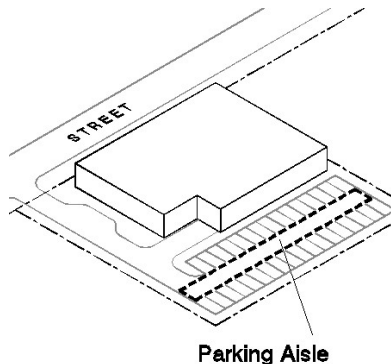
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of the foregoing, a *conservation* or natural area, a playground, or a picnic area, a *nursery* or a *commercial greenhouse*.

AMUSEMENT PARK means an area of land, with or without *accessory buildings* or *structures*, wherein the primary *use* is the provision of rides, slides, play equipment, games of chance or skill, or a water park, including the sale of food, beverages, toys and souvenirs *accessory* thereto, and may include a *recreational entertainment establishment* or an *amusement arcade*.

RECREATIONAL PARK means a park which, without limiting the generality thereof, also contains facilities for cultural, leisure, sports or recreational activities.

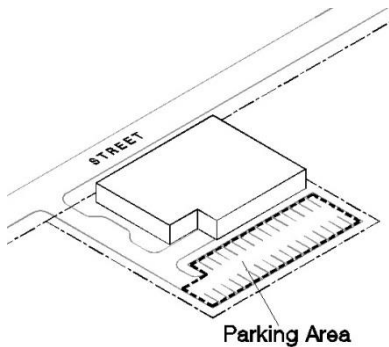
PARKING AISLE means a portion of a *parking area* which *abuts*, on one or more sides, *parking spaces* to which it provides direct access, and which is not *used* for the parking of *motor vehicles*.



PARKING AREA means an area provided for the parking of motor *vehicles*, and includes any related *parking aisles* and *parking spaces*, including a *private garage* or a *parking area* located within a *building* or *structure*, but does not include any part of a *street* or *lane* or *driveway*.

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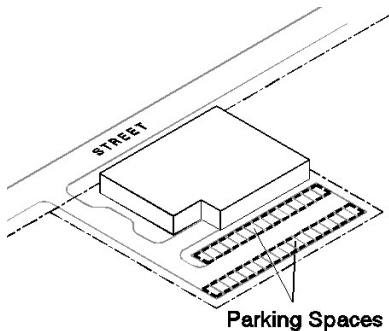
DEFINITIONS



PARKING LOT, COMMERCIAL means a *parking area* or *structure*, other than a *street* or *driveway*, that is available for public *use* on a *lot* for the parking of *motor vehicles* and either:

- a) is the principal use of the lot; or,
- b) where a charge is levied to occupy any parking space.

PARKING SPACE means a portion of a *parking area*, exclusive of any *parking aisles*, to be *used* for the temporary parking of a motor *vehicle*.



PATIO means an open area of land covered by a slab or other material on grade, but does not include a *deck*.

PERFORMING ARTS STUDIO means premises used for the rehearsal of performing arts, such as music, dance or theatre.

PERSONAL CARE ESTABLISHMENT means a *building* wherein a service is performed directly to an individual, and includes, without limiting the generality of the foregoing, a

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DEFINITIONS

barber shop, a beauty salon, a tanning salon, a tattoo parlour, a manicurist or a beautician's establishment, but does not include a massage or body-rub parlour or any *adult entertainment establishment* as defined in the *Municipal Act*.

PERSONAL SERVICE ESTABLISHMENT means a *building* wherein a service is provided for the alteration, care, making of, and repair of wearing apparel, and includes, without limiting the generality of the foregoing, a shoe repair shop, a tailor or dressmaking shop, a furrier, but does not include a massage or body-rub parlour or any *adult entertainment parlour* as defined in the *Municipal Act*.

PET GROOMING ESTABLISHMENT means a *building* wherein pets are washed and groomed for a fee, but does not include an establishment where animals are housed, bred, boarded, trained or sold and does not include an, *animal shelter* or *veterinarian clinic* as defined in this by-law.

PLACE OF WORSHIP means a *building* or *structure used* by a congregation or organization dedicated to worship and related religious, social and charitable activities, with or without an *auditorium*, convent or monastery, or clergy residence as *uses accessory* thereto.

PLANTING STRIP means *landscaped open space* which is located adjacent to a *lot line* or portion thereof and which comprises a continuous hedgerow or row of shrubs, a *berm*, a wall, an opaque fence, or combination thereof.

PORCH means a *structure*, with or without steps, consisting of a platform with a roof and enclosed walls or partially enclosed walls that are 1.2 m in *height* or greater from the top of the platform, and connected to an entrance to a *building*.

PRINCIPAL RESIDENCE or PRINCIPAL RESIDENT means the customary or usual place of residence of a person, for which the municipal address of the *dwelling unit* is most likely to be identified by that person as his or her place of residence for financial, legal and government related purposes.

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PRIVATE CLUB means an association or group of people who pay membership dues or fees, and own, lease or rent a premises, the *use* of which is restricted to members and their guests for social, recreational or athletic purposes, but does not include a *fitness club*.

PRIVATE HOME DAY CARE means the temporary care and custody for reward or compensation of not more than six persons in a provincially licensed home day care, or not more than five persons in an unlicensed home day care in a private residence other than the home of a parent or guardian of any such person for a continuous period not exceeding 24 hours. Care may be provided for children, seniors and/or persons with disabilities.

PROFESSIONAL OFFICE means a *building* in which a legal, or other professional service is performed or consultation given, including, without limiting the generality of the foregoing, the *office* of a lawyer, an architect, a surveyor, an engineer, a chartered accountant, or a consultant, but does not include a *business office*, a *studio*, a pet or veterinarian's clinic, a *clinic*, an *animal shelter*, a massage or body-rub parlour or any *adult entertainment establishment*.

PUBLIC, when *used* in reference to a *building*, *structure*, *use* or *lot*, means a *building*, *structure*, *use* or *lot used* by a *public agency* to provide a service to the public.

PUBLIC AGENCY means

- a) the *Corporation*;
- b) any department, commission, corporation, authority, board or other agency other than a *hospital* board established from time to time by the *Corporation*;
- c) any *public utility*;
- d) railroad company;
- e) the Government of Canada, Province of Ontario, County of Perth, *Upper Thames River Conservation Authority*, and School Boards.

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PUBLIC UTILITY means

- a) any agency, corporation, board or commission providing electricity, gas, oil, steam, water, communications/telecommunications, transportation, stormwater drainage or sewage or waste collection and disposal services to the public; or
- b) a *use* pertaining to any such agency, corporation, board or commission.

OPEN PORCH means a *porch* without walls or partial walls.

RAILWAY LINE means the permanently placed railway lines of a railway company *used* for traveling over, or temporary storage on, by railway company cars or engines, but does not include rail lines located on land not owned or leased by the railway company.

RECREATIONAL ENTERTAINMENT ESTABLISHMENT means an establishment wherein games of skill or chance are offered to the public as the *main use* therein, and includes, without limiting the generality of the foregoing, a billiard or pool hall and a bowling alley, but excludes an *amusement arcade* establishment or an *amusement park*, or a massage or body-rub parlour or any *adult entertainment establishment* as defined in the *Municipal Act*.

RECREATIONAL VEHICLE SALES OR RENTAL ESTABLISHMENT means an establishment having as its *main use* the sale, rental or leasing of *recreational vehicles*.

REDEVELOPMENT means the removal of *buildings* or *structures* from land and the construction or erection of other *buildings* or *structures* thereon.

REGISTERED means registered in the Registry Office of the County.

REGULATED AREA shall mean the area in which the *Upper Thames River Conservation Authority* has jurisdiction for hazard issues covered in Section 28 of the *Conservation Authorities Act*, R.S.O 1990, C.C.27, as amended.

RESERVE means land set apart from other lands and *registered* as a reserve.

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RESTAURANT means a *building* where food is prepared and offered for sale to the public for immediate consumption either on or off the premises, but does not include a *tavern* or any *building* where prepackaged foods or beverages requiring no further preparation before consumption are offered for retail sale.

DRIVE-IN RESTAURANT means a restaurant where the public consumes such food or beverages within *vehicles* parked on the same *lot* therewith.

EAT-IN RESTAURANT means a restaurant which contains seating for the public to consume the food or beverages of the restaurant therein, and may contain take-out or *drive through* take-out services *accessory* thereto.

TAKE-OUT RESTAURANT means a restaurant, other than a *drive-in restaurant*, which does not contain seating or any other facilities for the consumption of food or beverages therein.

RETAIL STORE means a *building* in which goods, wares, merchandise, substances, articles or things in limited quantities are stored, offered or kept for retail sale to the public, and *uses accessory* thereto.

RETIREMENT HOME means a *building* containing *dwelling units* or other rooms *used* for the accommodation of primarily elderly persons as their residence, and which contains a common dining area for the residents thereof, and may contain a common lounge, recreation room and medical care facilities.

SALVAGE YARD means a *lot* which may contain *buildings* or *structures*, *used* for wrecking, dismantling, storing or selling used goods, wares or materials including, but not so as to limit the generality of the foregoing, glass, bottles, metals, clothing, plastics, furniture, paper, machinery, building or other materials, *vehicles* and parts thereof.

SCHOOL:

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COMMERCIAL SCHOOL means a school operated for a fee for the purposes of, without limiting the generality of the foregoing, instruction in the performing arts, martial arts, sports or technical, vocational or academic subjects.

ELEMENTARY SCHOOL means an establishment, including outdoor areas, where academic instruction in a full range of the subjects of the elementary school courses of study is provided under the jurisdiction of a school board established by the Province of Ontario for students up to, and including grade 8.

PRIVATE SCHOOL means an establishment accredited by the Province, including outdoor areas, where academic instruction in a full range of the subjects of the *elementary* or *secondary school* courses of study is provided.

SECONDARY SCHOOL means an establishment, including outdoor areas, where academic instruction in a full range of the subjects of the secondary school courses of study is provided under the jurisdiction of a school board established by the Province of Ontario.

POST-SECONDARY SCHOOL means a public school primarily for the instruction of students or adults receiving a post-secondary education and, without limiting the generality of the foregoing, includes an adult retraining school, a community college and a university.

SCIENTIFIC OR MEDICAL LABORATORY means a *building* wherein scientific or medical experiments, tests or investigations are conducted, and where drugs, chemicals, glassware or other substances or articles pertinent to such experiments, tests or investigations are manufactured or otherwise prepared for *use* on the premises.

SECOND SUITE means a self-contained living accommodation for an additional person or persons living together as a separate single housekeeping unit, in which both food preparation and sanitary facilities are provided for the exclusive *use* of the occupants of the suite, located within the principal *dwelling* on the *lot*.

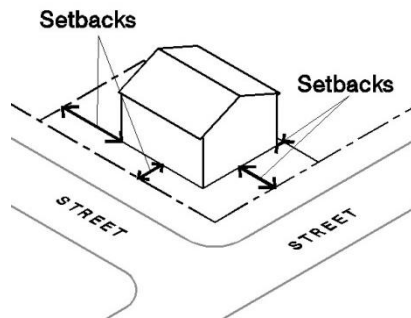
SELF-STORAGE ESTABLISHMENT means a *building* containing individual storage units accessible by the user, used for the storage of goods, wares, merchandise, food-stuff,

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substances, articles or other things, but does not include a fuel storage tank.

SETBACK means the horizontal distance between the *lot line* and the nearest part of any *building* or *structure* on such *lot*, and includes the *front yard depth*, *rear yard depth*, *interior side yard* and the *exterior side yard width* of a *lot*.



SERVICE TRADE means an establishment, other than an automotive *use*, that provides a non-personal service or craft to the public, including, but not necessarily restricted to, the shop of a printer, a plumber, a painter, a carpenter, an electrician, a welder, a furrier, an upholsterer, a custom engraver, a monument engraver, a *merchandise service shop*, a battery storage and recharging shop, a small engine repair shop, a workshop for the physically challenged, a catering establishment, a tool or small *equipment rental establishment*.

SEWAGE TREATMENT PLANT means the *use* of land, *buildings* and *structures* by a *public agency*, where domestic or industrial waste is collected and treated, and includes a sewage pumping station.

SHIPPING CONTAINER means an article of transportation equipment, including one that is carried on a chassis, that is strong enough to be suitable for repeated *use* and is designed to facilitate the transportation of goods by one or more means of transportation and includes intermodal containers, bodies of transport trucks, or straight truck boxes.

SHOPPING CENTRE means a *lot* or *building* designed, constructed, operated or maintained as a unit containing at least 4 physically separate and independent commercial and/or business *uses* which may be connected by a common corridor or wall

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and which is provided with common *parking areas, driveways, landscaped open space* and other shared *accessory* facilities and services and which is held under single ownership, *condominium* ownership, co-operative or similar arrangement.

SHORT TERM RENTAL ACCOMMODATION means an entire *dwelling unit* that is *used* to provide sleeping accommodations for any period of less than 28 consecutive days and is operated by the principal resident. Short term rental accommodation shall not include a *inn, hotel, bed and breakfast establishment, boarding house dwelling* or similar commercial or *institutional use*. The principal *use* of the *dwelling* shall be for residential purposes and the short term rental accommodation shall be an ancillary *use* to the *main use*.

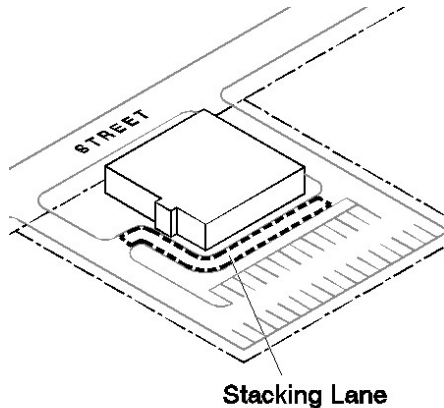
SIGN means a name, identification, description, device, display or illustration which is affixed to or represented directly or indirectly upon a *building, structure* or *lot* and which directs attention to, without limiting the generality of the foregoing, an object, product, place, activity, person, institution, organization or business.

SPECIAL EVENT SPACE means a portion of the *building* used for event programming for community, cultural and social purposes, including but not limited to, receptions, conferences, meetings, weddings, festivals, and informational and/or instructional programs (or similar functions for which food and/or beverages may or may not be prepared and served).

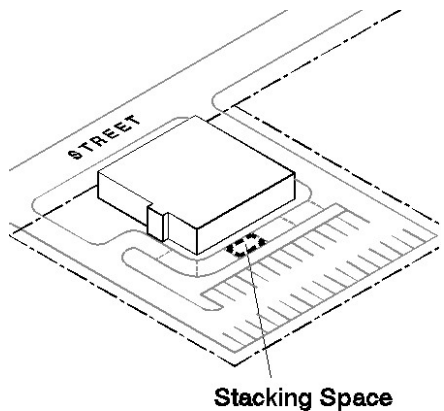
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STACKING LANE means a continuous on-site queuing lane that includes *tandem parking spaces* for motorized *vehicles* which is separated from other vehicular traffic and pedestrian circulation, by barriers, markings or *signs*.



STACKING SPACE means a *motor vehicle* space which provides standing room for *vehicles* in a queue in a *stacking lane*.



STORAGE, OPEN means storage of goods or materials outside a *building* or *structure*.

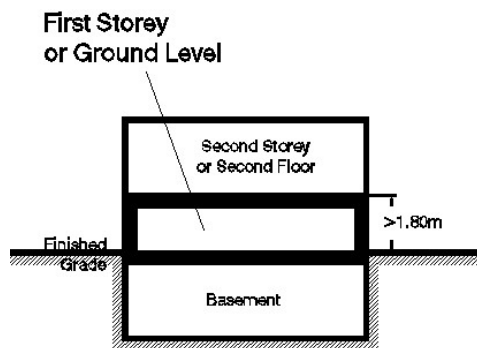
STOREY means a horizontal division of a *building* from a floor to the ceiling directly above such floor, and includes an *attic* wherein at least fifty (50) percent of the space above the floor is more than 2.1 m in *height* and meets the minimum *floor area* requirements of the Ontario Building Code but does not include a mezzanine, gallery, *balcony* or other overhang, the *floor area* of which does not exceed forty (40) percent of the *floor area* of the storey directly below such overhang, provided that the space beneath such overhang

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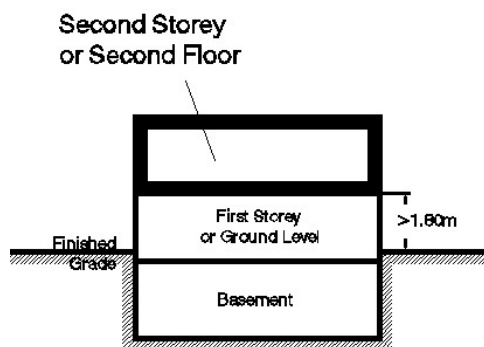
DEFINITIONS

is not enclosed and the extent of such overhang does not exceed forty (40) percent of the least dimension of the room in which the said overhang is located.

FIRST STOREY or GROUND LEVEL means the *storey* having its floor level closest to *finished grade* and having its ceiling more than 1.8 m above average *finished grade*.



SECOND STOREY or SECOND FLOOR means the *storey* directly above the *first storey*.



STREET means a *public* highway or *public* road as defined in the *Municipal Act*, under the jurisdiction of either the *Corporation*, the *County* or the Province but does not include a *lane* or right-of-way.

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DEFINITIONS

STREET ALLOWANCE means land held by the *Corporation*, the *County* or the Province for the purpose of providing a *street*, and includes a *street* and an *improved street*.

STREET LINE means the limit of the *street allowance* and is the dividing line between a *lot* or *reserve* and a *street*.

STREET WIDTH means the horizontal distance between the *street lines* of a *street allowance*, measured along a line perpendicular to the said *street lines*.

ARTERIAL STREET means a *street* designated as such on Schedule "B" of this By-law.

COLLECTOR STREET, TWO LANE AND FOUR LANE means a *street* designated as such on Schedule "B" of this By-law.

IMPROVED STREET means a *street* that is improved for the passage of *motor vehicles* and is owned and maintained by the *Corporation*, the *County* or the Province.

LOCAL STREET means a *street* designated as such on Schedule "B" of this By-law.

PRIVATE STREET means a *street* which affords the principal means of vehicular access to a *lot* and which is not assumed, for the purposes of providing maintenance, or in title, by the *Corporation*, the *County* or the Province.

WIDENED STREET means a *street* widened to its design width in accordance with Schedule "B" of this By-law.

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STRUCTURE means anything constructed or erected, in whole or in part, which is located on, or in, the ground, or attached to something located on, or in, the ground, and includes anything pre-made or prefabricated, but does not include a fence, *sign*, air conditioning unit, retaining walls, pergolas, temporary tents or similar *uses*, *railway line*, or any hard surface located directly on the ground.

STUDIO means a *building used* as the work place of a photographer, musician, artist or craftsman, without limiting the generality thereof, photographs are taken, music or film is recorded, or instruction is given in art, music, dance, craft making or similar disciplines.

SUNROOM means a *porch* or part thereof which is fully enclosed by walls containing windows, the glazed area of each exterior wall being not less than one-third of the area of such wall between the floor and the roof.

SUPERMARKET means a *building* in which a balanced line of prepared food, bakery and dairy products; candy and confectionery; soft drinks and other food products are sold to the public and, in addition, where pharmaceuticals, health and beauty aids, housewares, newspapers, paper products, tobacco products, flowers and plants and other non-food items may be sold or services rendered to the public provided such items or services are incidental and subordinate to the sale of food items described herein.

TANDEM PARKING means the parking of a *vehicle* directly behind another *vehicle* in a *driveway*.

TAVERN means a building in which the primary *use* is the serving of alcoholic beverages.

TAXI DISPATCH ESTABLISHMENT means a premises where taxis or limousine taxis are dispatched from and where such *vehicles* may be parked or stored for short periods of time when not engaged in transporting persons or goods.

THEATRE means a *building* or *structure used* for the production and viewing of the performing arts or for the screening and viewing of motion pictures by the public.

SECTION 3.0

DEFINITIONS

THEATRE CLASSROOM means a room or series of rooms in the *theatre* where groups of students are taught and/or educational sessions are held including but not limited to the business operations of the *theatre*, acting, and administration.

THEATRE RESTAURANT means a *restaurant* that operates exclusively during such periods as the *theatre* and/or its ancillary uses are in operation.

THEATRE RETAIL STORE means a *building* in which *theatre* products or products associated with the *theatre* including goods, wares, merchandise, substances, articles or things are stored, offered or kept for retail sale to the public.

TRAILER means any *vehicle* designed to be towed by another *vehicle*.

TRANSIT CENTRE means a *lot*, with or without *buildings* or *structures*, where buses are *used* to pick-up or drop-off of persons but excludes a bus stop.

TRAVEL TRAILER means a trailer capable of being *used* for the temporary or permanent living, sleeping or eating accommodation of one or more persons, including a travel trailer that has been temporarily or permanently fixed or attached to the ground on a foundation or other base or has become in any other manner so adapted and affixed to the land upon which it is situated that it is, or has become, an immobile *structure*, and includes, without limiting the generality thereof, *recreational vehicles*, mobile homes, park models or campers.

TRAILER CAMP means a *lot used* for the temporary or short term parking of *travel trailers* and other apparatus capable of being *used* for the temporary or permanent living, sleeping or eating, including tents, but excludes a *recreational vehicle sales or rental establishment*.

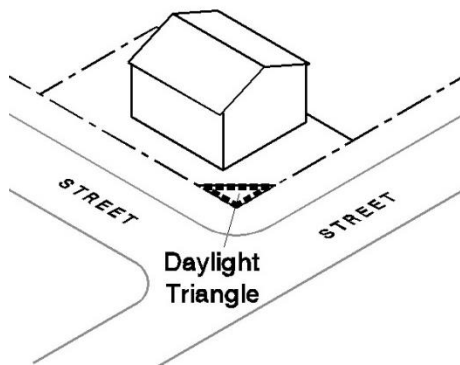
TRAILER PARK means a *lot used* or intended for *use* for the permanent placement of *travel trailers*.

TRIANGLE, DAYLIGHT means the triangular space formed by the *street lines* of a *corner*

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lot, where such *lot* is located at the intersection of 2 or more *streets*, and a line drawn from a point in one *street line* to a point in the other *street line*, each such point being a specified distance from the point of intersection of the *street lines* measured along the said *street lines*, and where the two *street lines* do not intersect at a point, the point of intersection of the *street lines* shall be deemed to be the intersection of the projected tangents of the *street lines*. Where required by this By-law, a *daylight triangle* shall be dedicated as part of the *abutting street allowance* to the appropriate agency having jurisdiction of the *abutting* street.



TRIANGLE, DRIVEWAY VISIBILITY shall be measured from the point of intersection of a *street line* and the edge of a *driveway* a distance from the *street line* and a distance from the edge of the *driveway*.

TRIANGLE, VISIBILITY means the triangular space formed by the *street lines* of a *corner lot*, where such *lot* is located at the intersection of 2 or more *streets*, and a line drawn from a point in one *street line* to a point in the other *street line*, each such point being a specified distance from the point of intersection of the *street lines* measured along the said *street lines*, and where the two *street lines* do not intersect at a point, the point of intersection of the *street lines* shall be deemed to be the intersection of the projected tangents of the *street lines*. Where required by this By-law, a *visibility triangle* shall be free of obstructions in accordance with the provisions of this By-law.

TRUCK TERMINAL means an establishment where trucks and/or transports are stored, rented, leased, kept for hire, or parked or from which trucks and/or transports are dispatched as common carriers, or where goods are stored temporarily for further shipment.

SECTION 3.0

DEFINITIONS

USE means, when used as a noun, the purpose for which a *lot*, *building* or *structure*, or any combination or part thereof, is designed, arranged, occupied or maintained and, when used as a verb, means to put to such purpose.

VEHICLE means anything driven or capable of being driven or drawn on wheels by any kind of power other than solely by muscular power and includes, without limiting the generality of the foregoing, an automobile, motorcycle, moped, motor-bike, truck, farm tractor, tractor trailer, bus, boat, jet-ski, motor home, *recreational vehicle*, snowmobile, but excludes a street car or other *vehicle* running only upon rails.

AUTOMOBILE VEHICLE means a *vehicle* designed or intended for *use* for personal transportation on highways and includes, without limiting the generality thereof, a car, pick-up truck, jeep, van, motorcycle, or motor assisted bicycle, but excludes a recreational *vehicle*.

COMMERCIAL VEHICLE means a *vehicle* licensed by the Province as a public *vehicle* pursuant to the *Public Vehicles Act*, or as a commercial *motor vehicle* pursuant to the *Highway Traffic Act*.

MOTOR VEHICLE means an *automobile vehicle* and any other *vehicle* propelled or driven otherwise than by muscular power, but does not included a *vehicle* running only upon rails, or a motorized snow *vehicle*, traction engine, farm tractor, self-propelled farm implement, or road-building machine.

RECREATIONAL VEHICLE means a *vehicle* designed and intended to be *used* for recreational purposes and includes, without limiting the generality of the foregoing, motor homes, *recreational vehicles*, *trailers*, campers, all-terrain *vehicles* or motorized snow *vehicles*, but excludes bicycles, motorcycles, and motor assisted bicycles.

VERANDAH means a *porch* or part thereof, with or without walls or railings, such walls or railings not exceeding a *height* of 1.2 m.

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DEFINITIONS

VETERINARIAN CLINIC means a *building* wherein animals are treated or kept for treatment by a veterinarian, but excludes an *animal shelter*, a pet shop or an establishment engaged primarily in the retail sale of animals or in breeding animals.

VIDEO RENTAL ESTABLISHMENT means a *building* where videos, cassettes, tapes or similar items intended for home entertainment are rented to the general public.

WALKWAY means a surface treated area that is designed and intended to be used principally for pedestrian or bicycle access.

WAREHOUSE means a *building used* for housing, storing, packaging wholesaling or distributing goods, wares, merchandise, food-stuff, substances, articles or things, and may include the residence of a caretaker or watchman.

WATER TREATMENT FACILITY means a *building* or *structure*, approved by a *public agency*, where water is purified or treated for human consumption, and includes a water pumping station.

WAYSIDE PERMIT AGGREGATE OPERATION (WAYSIDE PIT) means a temporary pit or quarry opened and used by or for a public authority solely for the purpose of a particular project or contract of road construction and not located on the road right-of-way.

WELLHEAD PROTECTION AREA means shall mean the geographic area designated on Schedule "C" of this By-law. Three *wellhead protection areas* are described as follows:

- a) Wellhead Protection Area A (WHPA-A): The geographic location of the 100m fixed radius around a wellhead with a vulnerability score of 10, as described in the Thames-Sydenham and Region Source Protection Plan for the purposes of describing a vulnerable area.
- b) Wellhead Protection Area B (WHPA-B): The geographic location of the area around a wellhead with a 2-year time of travel to the wellhead, excluding the area of WHPA-A, as described in the Thames-Sydenham and Region Source Protection Plan for the purposes of describing a vulnerable area.

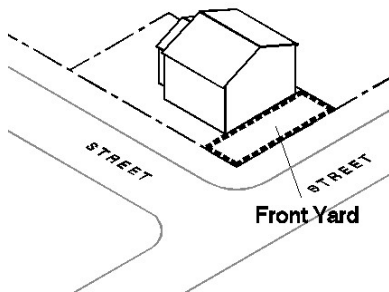
SECTION 3.0

DEFINITIONS

- c) Wellhead Protection Area C (WHPA-C): The geographic location of the area around a wellhead with a 2 to 5 year time of travel to the wellhead, as described in the Thames-Sydenham and Region Source Protection Plan for the purposes of describing a vulnerable area.

YARD means an area of land which is appurtenant to and located on the same *lot* as a *building* or *structure*, and which is open, uncovered and unoccupied from the ground up, except for such *accessory buildings, structures* or other *uses* as are specifically permitted thereon elsewhere by this By-law.

FRONT YARD means a *yard* extending across the full width of a *lot* between the *front lot line* of such *lot* and the nearest part of any wall of any *building* or *structure* on such *lot*.

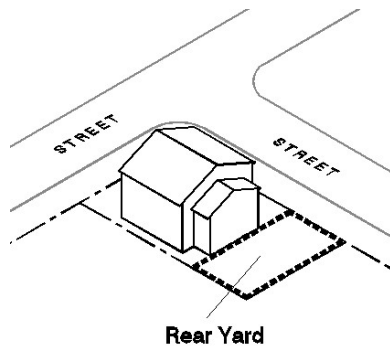


FRONT YARD DEPTH means the shortest horizontal dimension of a *front yard* between the *front lot line* of a *lot* and the nearest part of any *building* or *structure* on such *lot*.

SECTION 3.0

DEFINITIONS

REAR YARD means a *yard* extending across the full width of a *lot* between the *rear lot line* of such *lot* or, where there is no *rear lot line*, the junction point of the *side lot lines*, and the nearest part of any *building* or *structure* on such *lot*.



REAR YARD DEPTH means the shortest horizontal dimension of a *rear yard* between the *rear lot line* of a *lot* or, where there is no *rear lot line*, the junction point of the *side lot lines*, and the nearest part of any *building* or *structure* on such *lot*.

SIDE YARD means a *yard* extending from the *front yard* to the *rear yard* of a *lot* and from the *side lot line* of such *lot* to the nearest part of any *building* or *structure* on such *lot*.

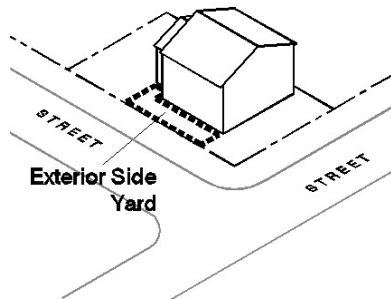
SIDE YARD WIDTH means the shortest horizontal dimension of a *side yard* between the *side lot line* of a *lot* and the nearest part of any *building* or *structure* on such *lot*.

AGGREGATE SIDE YARD WIDTH means the sum of the *side yard* widths of the *side yards* of a *lot*.

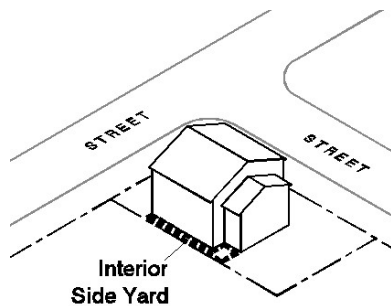
SECTION 3.0

DEFINITIONS

EXTERIOR SIDE YARD means a *side yard* immediately adjoining a *street allowance* or *abutting* a *reserve* on the opposite side of which is located a *street allowance*.



INTERIOR SIDE YARD means a *side yard* other than an *exterior side yard*.



REQUIRED YARD means that part of a *yard* which contains the *rear yard depth* or *side yard width* or *setback* from the *lot lines* of a *lot* as required herein by this By-law.

ZONE means an area delineated on a Zoning Map and established and designated by this By-law for a specific *use*.

SECTION 4.0

GENERAL PROVISIONS

SECTION 4 GENERAL PROVISIONS

4.1 Accessory Buildings, Structures and Uses

4.1.1 Uses Permitted

An *accessory building* or *structure* may be erected or *used* in accordance with the following:

- a) Where this By-law permits a *lot* to be *used* or a *building* or *structure* to be erected or *used* for a purpose, that purpose shall include any *building*, *structure* or *use accessory* thereto, other than an *accessory guest room* or an *accessory dwelling unit* unless otherwise specified by this By-law.
- b) An *accessory building* or *structure* shall not be *used* for human habitation or an occupation for gain or profit, unless otherwise permitted by this By-law.

4.1.2 Location

An *accessory building* or *structure* may be erected in any yard other than a *required yard*, except that nothing in this By-law shall apply to prevent the erection of:

- a) an *accessory building* or *structure* in accordance with Table 4.1.2.

Table 4.1.2 Accessory Building or Structure Locations

	Interior Lot Zoned C1 or Residential R	Corner lot Zoned C1 or Residential R	Interior Lot not zoned C1 or Residential R	Corner Lot not zoned C1 or Residential R
Distance from a <i>front lot line</i>	6.0 m or existing <i>building</i> setback, whichever is the greater	6.0 m or existing <i>building</i> setback, whichever is the greater	Setback as set out in the <i>zone</i> or Table 4.1.4	Setback as set out in the <i>zone</i> or Table 4.1.4
Distance from an <i>exterior side lot line</i>	N/A	6 m or existing <i>building</i> setback	Setback as set out in the <i>zone</i> or Table 4.1.4	Setback as set out in the <i>zone</i> or Table 4.1.4

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Table 4.1.2 Accessory Building or Structure Locations

	Interior Lot Zoned C1 or Residential R	Corner lot Zoned C1 or Residential R	Interior Lot not zoned C1 or Residential R	Corner Lot not zoned C1 or Residential R
		whichever is the greater		
Distance from an <i>interior side lot line</i>	1.0 m	1.0 m where a 1.5 m continuous unobstructed path is provided, otherwise 1.5 m	Setback as set out in the <i>zone</i> or Table 4.1.4	Setback as set out in the <i>zone</i> or Table 4.1.4
Distance from a <i>rear lot line</i>	1.0 m	1.0 m where a 1.5 m continuous unobstructed path is provided, otherwise 1.5 m	Setback as set out in the <i>zone</i> or Table 4.1.4	Setback as set out in the <i>zone</i> or Table 4.1.4

- b) a car port attached to a *single detached dwelling* or a *semi-detached dwelling* in an *interior side yard*, not closer than 1.0 m to the *interior side lot line*;
- c) a swimming pool in accordance with the provisions of [Section 4.18](#) (Outdoor Swimming Pools and Hot Tubs);
- d) an *accessory building* or *structure* in a *rear yard* setback of a *through lot* in a residential *zone*, where such *lots* are subject to a *reserve* across the *rear lot line* prohibiting access to the *street*, provided that such *accessory building* or *structure* is not located closer to any *lot line* than 1.0 m, or, in the case of a *corner lot*, not in the required *exterior side yard setback*, nor in a required *visibility triangle*.
- e) an *accessory building* or *structure* within 1.0 m of a *lot line* in a residential *zone*, provided that in no case shall an *accessory building* or *structure* be

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erected within a *front yard*, an *exterior side yard* or within the minimum *setback*.

4.1.3 Lot Coverage

The *lot coverage* for *accessory buildings* or *structures* shall be calculated to be included in the maximum *lot coverage* requirements for the *lot*, unless otherwise specified.

4.1.4 Regulations

No person shall *use* or permit the *use* of any *lot* or *erect*, alter or *use* any *accessory building* or *structure* except in accordance with the accessory use regulations in Table 4.1.4. Any numbers in parentheses following the particular regulation, *zone* heading, or applicable standard indicates that one or more additional regulations apply to *accessory buildings* and *structures* in the applicable *zone*.

Table 4.1.4: Accessory Use Regulations					
Zone Category	Maximum Lot Coverage ①	Maximum Floor Area ①	Maximum Height ②	Maximum Wall Height	Minimum Side Yard Width / Rear Yard Depth ③
RESIDENTIAL ZONES					
R1(1)	10%	100 m ²	5.0 m	3.0 m	1.0 m
R1(2)	10%	100 m ²	5.0 m	3.0 m	1.0 m
R1(3)	10%	100 m ²	5.0 m	3.0 m	1.0 m
R1(4)	10%	100 m ²	5.0 m	3.0 m	1.0 m
R1(5)	10%	100 m ²	5.0 m	3.0 m	1.0 m
R2(1)	10%	75 m ²	5.0 m	3.0 m	1.0 m
R2(2)	10%	75 m ²	5.0 m	3.0 m	1.0 m
R3	10%	75 m ²	5.0 m	3.0 m	1.0 m
R4(1)	10%	75 m ²	5.0 m	3.0 m	1.0 m
R4(2)	10%	75 m ²	5.0 m	3.0 m	1.0 m
R4(3)	10%	75 m ²	5.0 m	3.0 m	1.0 m
R4(4)	10%	75 m ²	5.0 m	3.0 m	1.0 m
R5(1)	10%	100 m ²	5.0 m	3.0 m	1.0 m
R5(2)	10%	100 m ²	5.0 m	3.0 m	1.0 m
R5(3)	10%	100 m ²	5.0 m	3.0 m	1.0 m
COMMERCIAL					

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Table 4.1.4: Accessory Use Regulations

Zone Category	Maximum Lot Coverage ①	Maximum Floor Area ①	Maximum Height ②	Maximum Wall Height	Minimum Side Yard Width / Rear Yard Depth ③
ZONES					
C1	10%	100 m ²	4.0 m	3.0 m	1.0 m
C2	10%	100 m ²	4.0 m	3.0 m	1.0 m
C3	10%	100 m ²	4.0 m	3.0 m	1.0 m
C4	10%	100 m ²	4.0 m	3.0 m	1.0 m
C5	10%	100 m ²	4.0 m	3.0 m	1.0 m
GRAND TRUNK ANCHOR DISTRICT ZONE					
AD	10%	100 m ²	4.0 m	3.0 m	1.0 m
INSTITUTIONAL ZONES					
IN1	10%	-	5.0 m	-	1.0 m
IN2	10%	-	5.0 m	-	1.0 m
THEATRE DISTRICT ZONE					
TH	10%	100 m ²	4.0 m	3.0 m	1.0 m
PARKS AND OPEN SPACE ZONES					
P	10%	-	5.0 m	-	1.0 m
OS	10%	-	5.0 m	-	1.0 m
AGRICULTURAL ZONE					
A	10%	100 m ²	5.0 m	3.0 m	1.0 m

Additional Regulations for Table 4.1.4

1. The maximum lot coverage or maximum floor area applies, whichever is the lesser.
2. Maximum height or one (1) storey, whichever is the lesser.
3. Subject to the regulations of Section 4.1.2, whichever is the greater.

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4.2 Access Required to a Street

4.2.1 Lot Frontage Requirements

No person shall *erect* any *building* or *structure* or *use* any *lot* in any *zone* unless such *lot* meets one of the following requirements:

- a) The *lot* has frontage on a *public street* which is assumed by By-law by a *public agency*;
- b) The *lot* will have frontage on a future *public street* that is currently being constructed pursuant to a Subdivision Agreement or other Development Agreement with a *public agency*;
- c) The *lot* is legally tied to a *condominium* having frontage on a *condominium common element roadway* that provides direct access to a *public street* or which connects with another *condominium common element roadway* having access to a *public street*; and
- d) The *lot* is legally tied to a *condominium* having frontage on a future *condominium common element roadway* that is currently being constructed pursuant to a Condominium Agreement or other Development agreement with a *public agency* that provides direct access to a *public* road or which connects with another *condominium common element roadway* having access to a *public street*.

For greater clarity, no person shall *erect* any *building* or *structure* or *use* any *lot* in any *zone* on a *private street* unless otherwise specified in this By-law.

4.3 Bed and Breakfast Establishments and Short Term Rental Accommodation

No person shall use a building or operate a *bed and breakfast establishment* or *short term rental accommodation* unless they hold a valid license issued by The Corporation of the City of Stratford in accordance with all of the applicable provisions of this by-law and the provisions set out in this section 4.3. Where there is a conflict between the general provisions and this section 4.3, the specific provisions relating to *bed and breakfast establishment* and *short term rental accommodation* shall apply.

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4.3.1 Bed and Breakfast Establishment

The regulations below applicable to *bed and breakfast establishments* apply within the Residential R1, R2, R3, R4, and R5 Zones, the Mixed Use Residential MUR Zone, the Commercial C1, C2, and C3 Zones, the Urban Reserve UR Zone and the Agricultural A Zone.

Permitted Dwelling Types, Permitted Zones and Maximum Number of Bedrooms

Bed and breakfast establishments and *short term rental accommodation* shall be in accordance with the requirements of Table 4.3.2:

Table 4.3.2: Bed and Breakfast Establishments and Short Term Rental Accommodation Requirements					
		Type of Dwelling			
		<i>Single Detached Dwelling</i>	<i>Semi-Detached Dwelling (each unit)</i>	<i>Converted Dwelling</i>	<i>Street Townhouse Dwelling (each unit)</i>
Permitted Dwelling Type	<i>bed and breakfast establishment</i>	Permitted	Permitted	Permitted	Permitted
	<i>short term rental accommodation</i>	Permitted	Permitted	Permitted	Permitted
Operated by	<i>bed and breakfast establishment</i>	Principal Resident	Principal Resident	Principal Resident	Principal Resident
	<i>short term rental accommodation</i>	Principal Resident	Principal Resident	Principal Resident	Principal Resident
Permitted Zones	<i>bed and breakfast establishment</i>	R1, R2, R3, R4, R5, MUR, C1, C2, C3, UR, and A Zones			
	<i>short term rental accommodation</i>	R1, R2, R3, R4, R5, MUR, C1, C2, C3, UR and A Zones			

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Table 4.3.2: Bed and Breakfast Establishments and Short Term Rental Accommodation Requirements

		Type of Dwelling			
		<i>Single Detached Dwelling</i>	<i>Semi-Detached Dwelling (each unit)</i>	<i>Converted Dwelling</i>	<i>Street Townhouse Dwelling (each unit)</i>
Maximum Number by Type of Dwelling	<i>bed and breakfast establishment</i>	1	1	1	1
	<i>short term rental accommodation</i>	1	1	1	1
Maximum Number of Bedrooms	<i>bed and breakfast establishment</i>	R1 Zone (Local Street): 2 bedrooms R1 Zone (Collector or Arterial Street): 4 bedrooms R1 Zone (Erie Street, Huron Street or Ontario Street): no maximum R2 and R3 Zones (Local, Collector or Arterial Street): 4 bedrooms R2 and R3 Zones (Erie Street, Huron Street or Ontario Street): no maximum R4 and R5 Zones: 2 bedrooms MUR, C2, and C3 Zones: no maximum UR Zone: 4 bedrooms. No expansion to an existing dwelling shall be permitted to accommodate a Bed and Breakfast Establishment in an UR Zone. A Zone: 4 bedrooms			
	<i>short term rental accommodation</i>	Not Applicable			

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Table 4.3.2: Bed and Breakfast Establishments and Short Term Rental Accommodation Requirements

		Type of Dwelling			
		<i>Single Detached Dwelling</i>	<i>Semi-Detached Dwelling (each unit)</i>	<i>Converted Dwelling</i>	<i>Street Townhouse Dwelling (each unit)</i>
Business License	<i>bed and breakfast establishment</i>	Required	Required	Required	Required
	<i>short term rental accommodation</i>	Required	Required	Required	Required
Maximum Number of Days	<i>bed and breakfast establishment</i>	Regulated through Licensing By-law (No limit)	Regulated through Licensing By-law (No limit)	Regulated through Licensing By-law (No limit)	Regulated through Licensing By-law (No limit)
	<i>short term rental accommodation</i>	Regulated through Licensing By-law (Maximum of 180 Days)	Regulated through Licensing By-law (Maximum of 180 Days)	Regulated through Licensing By-law (Maximum of 180 Days)	Regulated through Licensing By-law (Maximum of 180 Days)

4.3.2 Parking Requirements

The following parking requirements are applicable to a *bed and breakfast establishment* or *short term rental accommodation*:

- a) The minimum number of *parking spaces* shall be accommodated on the lot in accordance with the following:
 - i) *bed and breakfast establishment* – 1 *parking space* per bedroom plus the minimum number of *parking spaces* required for the *dwelling* in accordance with [Section 5.0](#) (Parking and Loading Requirements)
 - ii) *short term rental accommodation* – 0.66 *parking spaces* per bedroom
- b) Tandem parking for *bed and breakfast establishments* and *short term rental*

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accommodations may be permitted to a maximum of two vehicles, provided such parking does not in any way block, obstruct or otherwise hinder the sidewalk.

- c) No parking shall be permitted in a required front yard or required exterior side yard other than in a driveway, in accordance with the provisions of this zoning by-law.
- d) No parking shall be permitted in a *rear yard* unless a separation distance of 1.0 m is maintained from a *lot line*.
- e) A *planting strip* having a minimum width of 1.5 m and a minimum *height* of 2.0 m shall be provided and maintained adjacent to a *parking area* and *driveway abutting* a *lot line*, where 4 or more *parking spaces* are required in accordance with [Section 5.0](#) (Parking and Loading Requirements).
- f) The requirements of [Section 5.0](#) (Parking and Loading Requirements), with the necessary changes, apply to *bed and breakfast establishments* and *short term rental accommodations*.
- g) No required parking spaces are to be provided within a common element area or designated visitor parking areas.
- h) Private Street

A *bed and breakfast establishment* or *short term rental accommodation* shall not be permitted on a *lot* having a frontage on and access to a *private street*, except in accordance with [Section 4.3.7](#).

4.3.3 Other Requirements

- a) A *bed and breakfast establishment* or *short term rental accommodations* shall have a minimum outdoor amenity space in accordance with the following dwelling unit types
 - i) *Single detached dwelling*: 37 m²
 - ii) *Semi-detached dwelling*: 37 m²
 - iii) *Converted dwelling*: 30 m²

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- iv) *Townhouse dwelling*: 30 m²
- b) A required *outdoor amenity space* which is located within 6.0 m of a Residential *zone* shall be appropriately screened by a *planting strip* having a minimum width of 1.5 m and a minimum height of 1.5m, and provided and maintained adjacent to the *outdoor amenity space* and abutting *lot line*.
- c) When a *dwelling unit* is used as a *bed and breakfast establishment* or *short term rental accommodation*, no other uses of the property are permitted, including a *second suite*, or a *garden suite*.
- d) A *bed and breakfast establishment* or *short term rental accommodation*, including any *accessory* guest room, shall be licensed with the City.
- e) All City by-laws including but not limited to the Property Standards By-law, Noise By-law, Fence and Hedge By-law, licensing by-law apply to a *bed and breakfast establishment* or *short term rental accommodation*.
- f) When a *short term rental accommodation* is occupied continuously as a *principal residence*, (i.e., for more than 28 consecutive days) it shall be considered a *dwelling unit* as defined herein.

4.3.4 Accessory Guest Room

Nothing in this By-law shall prevent the location of one (1) *accessory guest room* in a *dwelling unit*, which may have frontage on and access to a *private street*, provided 1 *parking space* is provided for the *accessory guest room* in addition to any other required parking.

4.3.5 Accessory Guest Rooms in Accessory Buildings

Notwithstanding anything in this By-law to the contrary, *accessory guest rooms* are permitted in an existing *accessory building* in conjunction with a *bed and breakfast establishment* located on Ontario Street, Huron Street and Erie Street, provided they are not located within the *front yard* and *exterior side yard*, and a minimum *interior side yard*, and *rear yard* setback of 1.2 m is provided.

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4.4 Cannabis Production Facility

A *cannabis production facility* shall comply, with the following provisions:

- a) A *cannabis production facility* shall be subject to site plan control pursuant to Section 41 of the *Planning Act*.
- b) A *cannabis production facility* shall be prohibited on a *lot* containing a *dwelling unit*.
- c) No *building* or *structure* or portion of land thereof *used* for *cannabis production facility* purposes may be located closer to any Residential or Institutional *Zone* or Park *Zone* than 150 m.
- d) Where a *cannabis production facility* is located on a *lot*, no other *use* shall be permitted on the *lot* or within the *building* as a whole.
- e) A *building* or *structure used* for security purposes for a *cannabis production facility* may be located in the *front yard* and does not have to comply with the required minimum *front yard* setback.
- f) *Loading spaces* for a *cannabis production facility* must be in a wholly enclosed *building*.
- g) All *uses* associated with the *cannabis production facility* must take place entirely within a *building*.

4.5 Consents Subject to an Agreement

In the case of a parcel of land for which a Development Agreement, Plan of Condominium, and/or a Site Plan has been approved and *registered* against title pursuant to Section 41 or Section 50 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended from time to time, then the single parcel of land to which the Development Agreement and/or plan applies shall be deemed to be the *lot* for application of this Section, notwithstanding that part of the parcel may be in separate ownership; does not otherwise satisfy the definition of *lot*; or does not *abut* an *improved street*.

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4.6 Construction Uses

Nothing in this By-law shall prevent the *use* of a *lot* or part thereof other than a *visibility triangle*, for the erection or *use* of a *building* or *structure* where such *building* or *structure* is incidental to, and necessary for, construction work but not necessarily restricted to, a construction camp, a work camp, a tool shed or a scaffold, but only for so long as such *building* or *structure* is necessary for the work in progress and until the work is completed or abandoned, and only while a *building permit* for the said construction remains in force.

4.7 Daylight Triangles and Visibility Triangles

4.7.1 Minimum Daylight Triangle Requirement

A *daylight triangle* shall be provided and dedicated as part of the *abutting street allowance* to the appropriate agency having jurisdiction of the *abutting street*, in accordance with Table 4.7.1, and the *street* classification as identified in Schedule "B":

Table 4.7.1: Minimum Daylight Triangle Requirements		
Street Classification	Intersecting Street Classification	Minimum Daylight Triangle (m)
Local	Local	0
	Collector	0
	Arterial	10.0
Collector	Local	0
	Collector	10.0
	Arterial	10.0
Arterial	Local	10.0
	Collector	10.0
	Arterial	10.0

4.7.2 Minimum Visibility Triangle Requirements

- A *visibility triangle* shall be maintained in accordance with Table 4.7.2, and the *street* classification as identified in Schedule "B":
- Any *driveway* access to a *street* shall maintain a *visibility triangle* in accordance with Table 4.7.2:

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Table 4.7.2: Minimum Visibility Triangle Requirements and Minimum Driveway Visibility Triangle Requirements

Street Classification	Intersecting Street Classification	Minimum Visibility Triangle (m) ○
Driveway	Any Street	3.0
Local	Local	3.0
	Collector	3.0
	Arterial	12.0
Collector	Local	3.0
	Collector	12.0
	Arterial	12.0
Arterial	Local	12.0
	Collector	12.0
	Arterial	15.0

Additional Regulations for Table 4.7.2

1. Where a *daylight triangle* has been provided, it shall be included within the *visibility triangle* requirements.

4.7.3 Prohibition of Obstructions within Visibility Triangles

Except as otherwise provided in paragraph b) of this subsection, within any *visibility triangle* or *driveway visibility triangle*:

- a) no *building* or *structure* shall be erected and no *parking space* shall be established;
- b) no *sign*, save and except a pole *sign*, or any feature including, but without limiting the generality thereof, fences, walls, *berms*, trees, hedges or bushes, shall be greater than 0.75 m in *height* above the *elevation* of the highest point of the *street* adjacent thereto, regardless of whether or not any such features form part of a required planting strip; and
- c) no *finished grade* shall exceed the *elevation* of the highest point of the *street* adjacent thereto by 0.75 m.

4.7.4 Exemptions

Daylight triangle requirements and *visibility triangle* requirements shall not apply to the

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following:

- a) any *corner lot* located within the *Central Business District*, or
- b) any *corner lot* located in the C3 *zone*, where no *setbacks* are required in accordance with the *zone* provisions, except that, where a *corner lot* has a setback on one *street* only, then the provisions of *Section 4.7.3* (Prohibition of Obstructions within Visibility Triangles), paragraph a) shall apply to that part of the *lot* upon which such setback is required, only over that part of the *lot* between the *lot line* and the *setback* line.

4.8 Drive Throughs, Stacking Lanes and Stacking Spaces

A *drive through* may be permitted in association with a commercial *use*, where it is permitted by this By-law, provided that:

- a) The minimum number of *stacking spaces* shall be in accordance with the following:
 - i) For an automatic *drive through car wash*, a minimum of 10 *stacking spaces* shall be provided in advance of the *car wash*, and a minimum of 2 *stacking spaces* shall be provided at the terminus of each line;
 - ii) For a non-*drive through* or coin-operated *car wash*, a minimum of 2 *stacking spaces* shall be provided in advance of the *car wash* bay, excluding the *car wash* bay and egress from the *car wash* bay;
 - iii) For a *restaurant*, a minimum of 10 *stacking spaces* shall be provided for each *drive-through* service window or self-serve facility, including the space at the pick-up window; or
 - iv) For all other *uses* with *drive-through* service, such as a *financial institution* or pharmacy, a minimum of 4 *stacking spaces* shall be provided for each *drive-through* service window or self-serve facility, including the space at the pick-up window.
- b) *Stacking spaces* shall be 5.6 m in length and 3.0 m in width. In the case of a *car wash* intended for *commercial vehicles* or buses, *stacking spaces* shall be a minimum of 10.0 m in length and 3.5 m in width.

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- c) A *stacking lane* or *stacking spaces* shall not be permitted within 15.0 m of a Residential, Park and Open Space, or Institutional *Zone*.
- d) *Stacking lanes* or *stacking spaces* shall not be located within a required minimum *front yard* or required minimum *exterior side yard*.
- e) *Stacking lanes* and *stacking spaces* shall not be located within a *parking area* or *parking aisle*, and shall not obstruct *parking spaces*.
- f) A *drive through* shall not be permitted in association with a commercial *use* in the *Central Business District* as designated on Schedule "A".

4.9 Dwellings Per Lot

Except where specifically provided by this By-law, only one *dwelling unit* shall be permitted on a *lot*.

4.10 Garden Suites

A *garden suite* may be permitted by way of a site-specific Zoning By-law amendment to allow the temporary *use* of a *garden suite* on a *lot*, in accordance with the following provisions:

- a) A *garden suite* shall only be permitted on a *lot* with a purpose designed *single detached dwelling* or *existing semi-detached dwelling*, which is legally permitted within the *zone*.
- b) A maximum of one *garden suite* shall be permitted on a *lot*.
- c) Where a *garden suite* is located on a *lot*, a *bed and breakfast establishment*, *short term rental accommodation*, *group home*, *boarding house dwelling*, *second suite*, or *home occupation* shall be prohibited on the same *lot*.
- d) The maximum *building height* of a *garden suite* shall be 5.0 m.
- e) A *garden suite* shall only be permitted in the *rear yard*, and shall be setback a minimum of 2.5 m from the *rear lot line*.
- f) The minimum interior and *exterior side yard setbacks* of the *zone* shall apply to the *garden suite*.

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- g) A *garden suite* shall have a maximum *lot coverage* of 35% of the *rear yard*. A *garden suite* shall not be included in the calculation of any other maximum *lot coverage* requirements.
- h) A *garden suite* shall be setback a minimum distance of 1.2 m from all *buildings* located on the *lot*.
- i) No *driveways*, other than the *driveway(s) existing* on the *lot* prior to the installation of the *garden suite* shall be permitted.
- j) The *garden suite* shall not exceed a maximum *gross floor area* of 50% of the *gross floor area* of the principal dwelling located on the *lot*.
- k) One additional *parking spaces* shall be required to accommodate a *garden suite*.
- l) Notwithstanding the requirements of this Section, the *zone* regulations may be varied on a site-specific basis through the Zoning By-law Amendment.

4.11 Group Homes

No person shall operate a *group home* except in accordance with the following:

- a) A *group home* shall be permitted in a *single detached dwelling*, where it is permitted by this By-law, and provided that it complies with the regulations of the *zone* within which the *group home* is located.
- b) No other *uses* shall be permitted on a *lot used* as a *group home*;
- c) Parking for a *group home* shall be provided in accordance with [Section 5.0](#) (Parking and Loading Requirements); and
- d) The maximum number of occupants in a *group home* shall be 10 persons, exclusive of staff.

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4.12 Height Exceptions

Nothing in this By-law shall apply to restrict the *height* of the following structures:

- a) antenna;
- b) belfry;
- c) chimney;
- d) towers occupiable for access only, such as a spire or clock tower, in all *zones* except for a *place of worship* where permitted in a Residential *Zone*;
- e) electric power transmission tower;
- f) flag pole;
- g) construction crane;
- h) ornamental *structure*;
- i) roof-top elevator shaft or roof-top stairway enclosure;
- j) silo;
- k) steeple;
- l) a *mechanical roof top penthouse* containing heating, cooling or other mechanized equipment;
- m) tele-communications tower;
- n) water storage tower; and
- o) windmill.

provided that no such *structure*, other than a *structure* of a *public use*, occupies in excess of 5 per cent of the *lot area* of the *lot* on which such *structure* is situated or, where such *structure* is situated on the roof of a *building*, ten (10) per cent of the area of such roof, and provided no such *structure* contains any habitable *floor area*.

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4.13 Home Occupations

A *home occupation* shall:

- a) be permitted as an *accessory use* in any *single detached dwelling*, *semi-detached dwelling*, *converted dwelling*, or a *townhouse dwelling*, except where specifically provided otherwise,
- b) not exceed twenty-five (25) percent of the total *gross floor area* of the *dwelling* to a maximum of 30 m² of a *dwelling*;
- c) not alter the exterior of the *dwelling* as a residence;
- d) not include any *open storage* unless specifically permitted otherwise;
- e) permit the retail sales of products produced on the premises or those products directly associated with the *home occupation* but are restricted to a maximum of 15% of total *gross floor area* associated with the *home occupation*;
- f) not include the display of any advertising signage visible from the exterior of the *dwelling*, unless in accordance with the City's Sign By-law;
- g) require the provision of 1 *parking space* for each *home occupation* requiring visitation by a client not a resident therein, which may be located in a *driveway* in tandem with another required *parking space*;
- h) a maximum of one employee who does not reside in the *dwelling* is permitted on a given shift. Where an employee who does not reside in the *dwelling* is employed, one additional *parking space* shall be required; and,
- i) Notwithstanding paragraph a) and b) to the contrary, any *dwelling* or *accessory building* in any *zone* may be *used* by a resident of the said *dwelling* as the work place of:
 - i) an author or an artist;
 - ii) a teacher or tutor where instruction is given on a one-to-one basis, but excluding singing or dance lessons or instruction where musical or other instruments which create a nuisance are *used*, and provided

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not more than 1 person is taught, consulted, treated or instructed at any one time;

- iii) a personal care service, provided that not more than 1 of the necessary apparatus or appurtenances, such as a barber or hairdressing or other necessary chair, sink, or table required to serve 1 person at any one time is provided for *use* in such personal care service;
- iv) a person engaged in a business or profession or performing work related thereto where no person other than a resident of the said *dwelling* is required to travel to or from such *dwelling* and shall not involve the *use* of the *lot* as the base of operation for persons other than residents thereof who are employed by or associated with the *home occupation*, or shall not involve the *use* of the *lot* to assemble or rally employees or other persons for transportation to another location off the *lot*; or
- v) a *hobbyist*, provided that:
 - a) no part of the *lot* or *dwelling* is *used* to display any goods, wares or merchandise, except where such *lot* is in a commercial or industrial *zone*.
 - b) no part of any required *floor area* or required *parking area* is eliminated for such *use*;
 - c) not more than 25 per cent of the total *ground floor area* of the *dwelling* is *used* for such *use*; or
 - d) such *use* does not exceed, in total, 30 m² of any *dwelling* or *accessory building*.

4.14 Landscaped Open Space

Landscaped open space shall be provided in accordance with the provisions of the *zone* in which it is required, and shall be subject to the following general provisions:

- a) No part of any *driveway*, *parking area*, *loading space*, roof top terrace, or covered *structures* or enclosed *structures* or space enclosed within a

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building, other than a landscaped area located above an underground *parking area*, shall be considered part of any required *landscaped open space*.

- b) Except as otherwise provided herein, no part of any required *front yard* or required *exterior side yard* shall be *used* for any purpose other than *landscaped open space*.
- c) Where *landscaped open space* is required *abutting* any *lot line* or elsewhere on a *lot*, nothing in this By-law shall apply to prevent such *landscaped open space* from being traversed by *walkways* or permitted *driveways*, except where prohibited in a required *front yard*.

4.15 Minimum Distance Separation Requirements

- a) Notwithstanding any other provision of this By-law no *livestock facility* shall be erected or enlarged unless it is in compliance with the *Minimum Distance Separation II (MDS II) Formulae* and guidelines developed by the province, as amended from time to time.
- b) No *dwelling* shall be erected or located on any *lot* in the Agricultural (A) *Zone* unless it complies with the requirements of the Ontario Nutrient Management Act and the *Minimum Distance Separation (MDS I) Formulae* and guidelines developed by the province, as amended from time to time.
- c) The *Minimum Distance Separation (MDS) Document* issued by the Ministry of Agriculture, Food and Rural Affairs shall be the formulae *used* for this calculation.

4.16 Model Homes and Temporary Sales Offices

- a) *Model homes* are permitted on lands that have received draft plan of subdivision or *condominium* approval for residential purposes provided that:
 - i) the number of *model homes* does not exceed 20 units or 10% of the *dwelling units* draft approved in the plan of subdivision or *condominium* whichever is the lesser;
 - ii) the *model home* is built within a *lot* defined by the draft approved

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- plan of subdivision or condominium;
 - iii) the *model home* complies with all other requirements of this By-law for the applicable type of *dwelling unit* with the exception of the parking requirements; and,
 - iv) the *buildings* are *used* for the purpose of *model homes* only and shall not be occupied prior to the date of registration of the subdivision, *condominium*, or similar development agreement.
- b) Temporary sales offices for the sale of residential, employment or commercial *lots* or units in a plan of subdivision or condominium are permitted, subject to the following provisions:
- i) the temporary sales office shall not be permitted until an applicable plan of subdivision or condominium has received draft plan approval or the property is in a *zone* that permits the proposed development;
 - ii) the temporary sales office shall only be permitted for such period that work within a relevant plan of subdivision or condominium remains in progress, having not been finished or discontinued for 60 days;
 - iii) the temporary sales office shall comply with the minimum yards for the applicable *zone*;
 - iv) if *parking spaces* are provided, the temporary sales office shall comply with the parking provisions of this By-law; and,
 - v) the temporary sales office is located in the plan of subdivision or condominium where the lots or units are being sold.

4.17 Non-Conformity with this By-law

4.17.1 Continuation

Nothing in this By-law shall apply to prevent the *use* of any *existing* lot, *building* or *structure* for any purpose prohibited by this By-law if such *lot*, *building* or *structure* was lawfully *used* for such purpose on the day of passing of this By-law, so long as it continues to be *used* for that purpose.

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4.17.2 Repair

Nothing in this By-law shall prevent the repair of an *existing building* or *structure* that was lawfully *used* on November 9, 2000, even though such *building* or *structure* or the *lot* on which such *building* or *structure* is located does not conform to one or more of the provisions of this By-law, provided that the dimensions of the original *building* or *structure* are not increased, the *use* thereof is not *altered* and the yards appurtenant thereto are not reduced except in accordance with the provisions of this By-law.

4.17.3 Extensions

Nothing in this By-law shall prevent a vertical or horizontal extension or addition from being made to an *existing building* or *structure*, that was lawfully *used* on November 9, 2000, even though such *building*, *structure* or the *use* thereof, does not conform to one or more of the provisions of this By-law, provided such extension or addition itself is designed, located, *used*, and is otherwise in compliance with the provisions of this By-law.

4.17.4 Legal Existing Lots

Where an *existing lot* having a lesser *lot area*, *lot frontage* or *lot depth* than that required herein is or has been legally held under distinct and separate ownership from *abutting* lots in existence prior to the effective date of this By-law, then the said *lot* shall be deemed to conform to the requirements of this By-law with respect to *lot area*, *lot frontage* or *lot depth*, and the provisions hereof respecting *lot area*, *lot frontage* and *lot depth* shall not apply to prevent the *use* of such *lot*, or the erection, alteration or *use* of a *building* or *structure* thereon in accordance with all other provisions hereof. Where this provision applies, and where more than one *use* or *dwelling unit* type is permitted and are subject to different *lot area*, *lot frontage* or *lot depth* requirements, then the only permitted *uses* or *dwelling unit* shall be the *uses* or the *dwelling unit* type with the most restrictive *lot area*, *lot frontage* or *lot depth* requirement.

4.17.5 Reduction in Lot Area

Where a *lot*, *building*, *structure* or required *parking space* is deemed to be deficient of any requirement of this By-law, and that deficiency is expressly the result of acquisition or expropriation of land by a *public agency*, the *lot*, *building*, *structure* or required *parking space* shall be deemed to comply with the requirements of this Bylaw.

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4.17.6 Lots Created Through Plan of Subdivision or Consent

Where a *lot* is created through a plan of subdivision or consent and where such *lot* creation, causes the *lot* as reduced, or any *building* or *structure* lawfully erected thereon, as of the date of such *lot* creation to become non-conforming with any of the requirements of this By-law, then the *lot* as reduced and any *building* or *structure* thereon shall be deemed to conform to the general *use* regulations of the applicable *zone*, and provided that no *building* or *structure* is erected or altered on the *lot* subsequent to the *lot* creation except in accordance with this By-law.

4.18 Outdoor Swimming Pools and Hot Tubs

- a) No outdoor swimming pool or hot tub, or related walls, *deck* or exterior *walkways* adjacent to such swimming pool or hot tub shall be erected anywhere except:
 - i) in an *interior side yard* or *rear yard* on a residential *lot*; or
 - ii) in a *rear yard setback* of a *through lot* in a residential *zone* where such *lot* is subject to a *reserve* across the *rear lot line* prohibiting access to the *street*; or
 - iii) in any *yard* other than a *required yard* on a *lot* containing a *hotel* or *private club* and located within any *zone* other than a residential *zone*; and,
 - iv) provided that such swimming pool or hot tub, or related walls, or *deck* are not closer than 1.0 m to any *lot line* or, closer to any *street* than the required setback, nor in any *visibility triangle*.
- b) Water circulating or treatment equipment, such as pumps, heaters or filters or *accessory structures*, such as a change area or storage shed, shall not be located closer than 1.0 m to any *lot line*.
- c) No outdoor swimming pool or hot tub shall be considered part of the *lot coverage* of a *lot*.

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4.19 Outside Display and Sale of Goods, Materials and Merchandise

Outside display and sale of goods, materials or merchandise, including *vehicles*, shall only be permitted, in accordance with the following provisions:

- a) Outside display and sale shall be *accessory* to a commercial *use* in a *building* provided that:
 - i) no required *parking space* is *used* for such purposes;
 - ii) any area *used* for outside display and sale shall be maintained as *landscaped open space* or provided and maintained with a stable surface, treated so as to prevent the raising of dust or loose particles and adequately drained;
 - iii) no outside display or sale shall occupy lands within 3.0 m of a *lot line* except within the *Central Business District* as designated on Schedule "A"; and,
 - iv) the outside display or sale of *motor vehicles* shall be setback a minimum distance of 7.5 m from the *lot line* of an *abutting Residential Zone*.

4.20 Permitted Yard Encroachments

4.20.1 Projection into Required Yards

No part of any *required yard* shall be obstructed by any *building* or *structure* or part thereof except one or more of the following:

- a) *accessory buildings* or *structures* specifically permitted in a *required yard* elsewhere in this By-law;
- b) architectural adornments including, but not necessarily restricted to, sills, belt courses, chimneys, cornices, eaves, gutters, parapets and pilasters, projecting not more than 0.5 m into any *required yard*, except that no eaves of any *building* located within a residential *zone* shall be located closer than 0.6 m to any *lot line*;

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- c) functional and ornamental *structures* including, but not necessarily restricted to:
 - i) drop awnings, clothes poles, ornamental fountains, statues, monuments, cenotaphs, memorials, planters or garden trellises, not closer than 0.6 m to any *lot line*,
 - ii) fences, boundary and retaining walls, *planting strips* and legal *signs*;
 - iii) *porches*, *decks*, *verandahs*, *sunrooms*, balconies on top of *porches* or *verandahs*, terraces and exterior steps providing access between *finished grade* and either the *basement* or the *first storey* of a *building*, where such *structures* project not more than 2.5 m into a required *front yard*, a required *exterior side yard* or a required *rear yard*, provided such *structures* do not project into a *visibility triangle*, and shall not be located closer than 1.5 m to any *lot line*;
 - iv) uncovered terraces, with or without walls, fences or *planting strips*, provided such terrace or any walls, fences or *planting strips* do not exceed 0.75 m in *height*, where such terrace, wall, fence or planting strip projects not more than 3.0 m into a required *front yard* or required *exterior side yard*, and shall not be located closer than 1.5 m to any *front lot line* or *exterior side lot line*;
 - v) uncovered *decks*, *patios* or terraces, not exceeding 0.5 m in *height* above grade level, where such *structures* project not more than 2.5 m into a required *rear yard*, provided such *structure* is not closer than 1.0 m to any *lot line*;
 - vi) uncovered *decks*, *patios* or terraces, equal to or exceeding 0.5 m in *height* above grade level, where such *structures* project not more than 2.5 m into a required *rear yard*, provided such *structure* is not closer than 3.0 m to any *lot line*.
- d) *patios* associated with a *restaurant* and other commercial *uses* shall comply with the following:
 - i) *patios* shall have a minimum separation distance of 20 m from any residential *zone*;

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- ii) *patios* may have a minimum setback of 0 m in the C3 *zone*;
 - iii) in other *zones* where a restaurant is a permitted *use*, a *patio* may encroach into the required *front yard* provided the *patio* is setback a minimum 1 m from the *front lot line*;
 - iv) *patios* shall not be located with the *visibility triangle*; and
 - v) parking shall be provided for the *patio* at the rate of the associated *use*.
- e) *porches* or steps connecting to a *porch*, *sunrooms* or *verandahs* where the size of such *structure* is not more than the minimum required by the Ontario Building Code, projecting into a required *front yard*, a required *exterior side yard* or a required *rear yard* in residential *zones*, except for the R5 *zones*;
 - f) cantilevered bays having a maximum width of 3.0 m and projecting not more than 1.0 m, exclusive of eaves and cornices, into a required *front yard* or a required *exterior side yard* in residential *zones*;
 - g) unenclosed fire escapes in which the stair steps and floors are latticed in such a manner that the proportion of voids to solids is not less than two to one and in which guards consist only of hand rails and the structural members necessary to their support, and which do not project more than 1.5 m into any *required yard*, provided such fire escape is not closer to any *lot line* than 0.5 m;
 - h) balconies, other than balconies on top of *porches* or *verandahs* projecting not more than 1.5 m into any required *front yard*, or required *exterior side yard* and which do not project into any *visibility triangle*, and shall not be located closer than 3.0 m to a *front lot line*, or *exterior side lot line*;
 - i) barrier free ramp required as an access to a *building* provided that no part of the ramp or landing are closer to any *lot line* than 0.8 m, is not located in a *visibility triangle*, and does not project more than 3.5 m into any *required yard*;
 - j) window or wall-mounted furnaces, heat pumps and outdoor free-standing air conditioning units may project into any required *rear yard*, *interior side*

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yard, or *exterior side yard* a distance of not more than 1.0 m and provided it is no closer than 0.9 m to an *interior* or 1.5 m to a *exterior lot line* or 6.0 m to a *rear lot line*;

- k) window bays may project into any required *front yard*, *rear yard* or *exterior side yard* a distance of 0.9 m, provided the width is no greater than 3.0 m.

4.21 Planting Strips

- a) Where a *lot* occupied by a non-residential *use* other than a *park abuts* a *lot* in a residential *zone*, or where a *lot* in the Residential Fourth Density (R4) or Residential Fifth Density (R5) *Zone abuts* a *lot* in another residential *zone*, then that part of the said *lot abutting* such residential *lot* shall be *used* for no purpose other than a *planting strip* having a minimum width of 1.5 m, measured perpendicularly to the said *lot line*, except that where an opaque fence or wall, hedgerow or row of shrubs or combination thereof, constitutes a required *planting strip*, the *planting strip* shall have a minimum width of 0.15 m.
- b) Where a fence, wall, hedgerow or row of shrubs or combination thereof constitutes a required *planting strip*, such fence or wall shall have a minimum *height* of 1.5 m, and such hedgerow or row of shrubs shall have a minimum *height* of 1.5 m at maturity, unless otherwise required by this By-law. Within a *visibility triangle*, the maximum *height* of any such feature shall be governed by *Section 4.7* (Daylight Triangles and Visibility Triangles).
- c) Nothing in this By-law shall apply to prevent a required *planting strip* from being traversed by a *walkway* or a permitted *driveway* provided that the minimum angle of intersection between such *driveway* and the said *planting strip* shall be 60 degrees.

4.22 Public Uses

Nothing in this By-law, save and except for *Section 4.29* (Upper Thames River Conservation Authority Regulated Area), shall apply to prevent the following *uses*, *buildings*, or *structures* in any *zone*:

- a) a *public use* where *used* by a *public agency* to provide a service to the public.

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- b) *public utility* uses and *infrastructure*, including, but not limited to: the installation of a watermain, sanitary sewer main, storm sewer main, pumping station, gas main, pipeline, lighting fixture or overhead or underground electrical, cable television, communications/telecommunications or other lines or associated transformers, together with any installations or *structures* appurtenant thereto, excluding an *office* or other work related *structures* by a *public utility*.
- c) Notwithstanding a) and b) above, new *public agency* and *public utility* uses which have noise, odour, vibration and/or dust impacts including sewage treatment plants and water intake / filtration plants shall not be permitted in a Residential Zone, except through a Zoning By-law Amendment.

provided that any *lot*, *building* or *structure* so *used* shall be designed, landscaped and maintained in general harmony with neighbourhood *uses*.

4.23 Rooftop Mechanical Equipment and Mechanical Penthouses

The following provisions shall apply where rooftop mechanical equipment is provided on any *lot*, not located in any Residential First Density (R1), Residential Second Density (R2), Residential Third Density (R3) or Residential Fourth Density (R4) *Zone*:

Rooftop mechanical equipment shall be set back a minimum of 5.0 m from all edges of a roof if it is not fully enclosed within a *mechanical roof top penthouse* or screened by an architectural feature.

4.24 Second Suite Regulations

A *second suite* may be permitted as an *accessory use* within a *single-detached dwelling* or *semi-detached dwelling*, or *townhouse dwelling* where permitted by this By-law, and subject to the following provisions:

4.24.1 Permitted Use Requirements

- a) Only one *second suite* shall be permitted per *lot*. The principal *dwelling* shall be a legally permitted *use* on the *lot*.
- b) A *second suite* shall not be greater than 50% of the *gross floor area* of the principal residential *dwelling* on the *lot*, up to a maximum size of 100 m².

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- c) A *second suite* shall have a maximum of 3 bedrooms.
- d) A *second suite* shall not be permitted on a *lot* with a *boarding house dwelling, group home, bed and breakfast establishment, short term rental accommodation, garden suite* or *home occupation*.
- e) A *second suite* shall only be permitted on a *lot* serviced by a *public* water supply system and a *public* sanitary sewer system where adequate capacity has been confirmed by the City.
- f) A *second suite* shall not be severed from the *lot* of the principal *dwelling* or converted into a separate *dwelling unit* through a Plan of Condominium.
- g) A *second suite* shall be permitted above the *Upper Thames River Conservation Authority* regulatory area.

4.24.2 Parking Requirements

- a) In addition to the parking requirements for the principal *dwelling* in accordance with the provisions of *Section 5.0* (Parking and Loading Requirements), 1 additional *parking space* for a *second suite* shall be required and shall be located on the same *lot*.
- b) The required *second suite parking space* shall not be permitted in tandem with the required *parking spaces* for the principal *dwelling*.
- c) A minimum of forty (40) percent of the *front yard* of a *lot used* for a *second suite* shall be provided and maintained as *landscaped open space* and such open space shall not be utilized for *parking space* and/or *driveway* purposes.

4.24.3 Entrance Requirements

- a) The entrance to a *second suite* must be independently accessible from a common hallway or stairway inside the building or from an independent entrance from outside the *building*.
- b) Where only one entrance to the *second suite* is provided, it must not be from the inside of a *garage*, unless the *garage* has a separate entrance that provides direct outdoor access.

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- c) Where the only entrance to a second *dwelling unit* is provided from the *rear yard* or interior or *exterior side yard*, the entrance must be accessed by a continuous, unobstructed *walkway* of at least 1.0 m in width between the main wall of the *building* and the *side lot line* and a municipal number posted in accordance with City by-laws.

4.24.4 Restricted Areas

- a) *Second suites* and associated *parking areas* shall not be permitted within *hazard lands*.
- b) *Second suites* shall not be permitted on a *lot* that is only accessible by a *private street*.

4.25 Servicing Requirements

- a) No *building* shall be erected or enlarged unless the applicable *lot* is serviced by a *public* water supply system and a *public* sanitary sewer system.
- b) Notwithstanding subsection a) above, in the Agricultural (A) *Zone*, no *building* shall be erected or enlarged unless the requirements for service connections defined by the Ontario Building Code are provided.

4.26 Setbacks

4.26.1 Required Setbacks

- a) The minimum *front yard* setback and *exterior side yard* setback is measured from the design width of the street listed in Schedule B.
- b) No *building* or *structure* shall be erected closer to a *street* than as set out in Table 4.26.1:

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Table 4.26.1: Minimum Required Setbacks

Street Classification	Street Allowance	Minimum Required Setback ①
Local Street	-	7.5 m
Arterial Street	30 m or greater	7.5 m
	30 m or less	7.5 m plus the <i>street</i> widening required for that side of the <i>existing street</i> necessary to create a 30 m wide <i>street allowance</i>
Two Lane Collector Street	23 m or greater	7.5 m
	23 m or less	7.5 m plus the <i>street</i> widening required for that side of the <i>existing street</i> necessary to create a 23 m wide <i>street allowance</i>
Four Lane Collector Street	30 m or greater	7.5 m
	30 m or less	7.5 m plus the <i>street</i> widening required for that side of the <i>existing street</i> necessary to create a 30 m wide <i>street allowance</i>

Additional Regulations to Table 4.26.1

1. Except where the setback of such *building* or *structure* is otherwise specifically set out in the *zone* provisions, in which case, the lesser setback shall apply, or where such *building* or *structure* is specifically permitted in a required *front yard* or a required *exterior side yard* elsewhere herein provided; however, in no case shall a *private garage* be setback less than 6.0 m from any *street*.

4.26.2 Setback Dimension Considered a Required Yard

Any part of a *building* situated closer to a *street* than the required *setback* shall be considered a *required yard* for the purpose of this By-law.

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4.26.3 Street Widenings

- a) Where the width of a *street* or part thereof as shown on Schedule "B" is increased hereafter and the increased width is greater than the design width of the *street allowance* as shown on Schedule "B", the *setback* required adjacent to such *street* or part thereof, shall be reduced by the amount of the said increase that is greater than the design width of the *street allowance*, provided that no required *setback* determined in accordance with this provision shall be less than that as set out in [Section 4.7](#) (Daylight Triangles and Visibility Triangles).
- b) Where an *abutting street width* is less than the design width of the *street allowance* as indicated on Schedule "B" to this By-law, one-half of the required design width of the *street allowance* shall be dedicated to the agency having jurisdiction of the *abutting street*.

4.26.4 Established Building Lines in Residential and MUR Zones

In any residential or mixed use residential zone where the *lot* has a frontage of not more than 20m, the required *front yard* depth may be reduced:

- a) where a vacant *interior lot* abuts *lots* on which dwellings have setbacks from the *front lot line* or *exterior side lot line* of a lesser depth than that required by this by-law, the minimum setback from the *front lot line* for any dwelling to be erected on the said vacant *interior lot* is equal to the average of the setbacks from the *front lot line* of the dwellings on the abutting *lots* but shall not be greater than the minimum *front yard* setback required for the *zone*;
- b) the average of the established *building line* on the *lot*, where such *lot* is occupied by an *existing dwelling*, and on the two *lots* between which the *lot* is located, in the case of a *lot* other than a *corner lot*; or
- c) where a vacant *corner lot* abuts a *lot* on which a dwelling has setbacks from the *front lot line* of a lesser depth than that required by this by-law, the minimum setback from the *front lot line* for any dwelling to be erected on the *corner lot* is equal to the setback from the *front lot line* of the dwelling on the abutting *lot*;

Provided it does not conflict with [Section 4.7](#) (Daylight Triangles and Visibility

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Triangles) of this By-law.

4.26.5 Exterior Side Yard

Notwithstanding the minimum *exterior side yard* requirements of this By-law, where a *corner lot* is sited so that the *rear yard* of the *lot* abuts an adjacent *rear yard*, the *exterior side yard* shall be subject to the minimum *setback* requirement of the *interior side yard*.

4.26.6 Front Yard Setbacks for Specific Streets

No *building* or *structure* shall be erected closer to a *local street* or any *local street* created after the date of the passing of this By-law than as setout in the applicable zone except where the setback of such *building* or *structure* is otherwise specifically listed below:

Table 4.26.2: Front Yard Setback for Specific Streets

Street	From	To	Side	Setback (m)
Brant				4.5
Cherry				5
Cobourg Lane				4.5
Crooks	Louise	Blake		4.5
Daly				5
Dawson	within the cul-de-sac			3
Denison	within the cul-de-sac			3
Duke				4.5
Elm	Nelson	Dufferin	north	5
Elm	Railway	Dufferin	south	5
Grange			south	5
Grange	Nile	Front	north	4.5
Guelph			south	4.5
High				4.5
Joffre	within the cul-de-sac			3
Kent Lane				4.5
Kent Street				4.5
Morison	within the cul-de-sac			3
Perth				5
Rebecca	Nile	Front		4.5
Ross				5

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Table 4.26.2: Front Yard Setback for Specific Streets

Street	From	To	Side	Setback (m)
T.J. Dolan				4.5
Worsley	Birmingham	115 m westerly		4.5

4.27 Shipping Containers

- a) *Shipping containers* shall only be permitted on a *lot* as an *accessory use* within an, Institutional, Industrial, Agriculture, Theatre, Grand Trunk Anchor District or Commercial *Zone*, except in a C1 or C3 *Zone*.
- b) *Shipping containers* shall not be permitted in the *front yard* or *exterior side yard*.
- c) *Shipping containers* shall not be permitted within any *required yard setback*.

4.28 Source Protection (Wellhead Protection Areas)

- a) Notwithstanding any other provision of this By-law, on any *lot* located within each of the following geographic areas as delineated on Schedule "C", the corresponding *uses* or activities identified in Table 4.28 shall be prohibited.
- b) Notwithstanding, subsection a), where a *use* or activity is prohibited in *Wellhead Protection Area A*, *Wellhead Protection Area B* or *Wellhead Protection Area C*, as indicated in Table 4.28, and the *use* or activity was legally *existing* prior to the effective date of this By-law, the *use* or activity shall continue to be permitted in conformity with the Source Protection Plan and the permitted *uses* of the underlying *zone*, but no expansion of any *building* or *structure* or increased activity for the prohibited *use* or activity as indicated in Table 4.28 shall be permitted.

Table 4.28: Prohibited Uses and Activities in Wellhead Protection Areas

Area (as delineated on Schedule "C")	Prohibited Uses and Activities
<i>Wellhead Protection Area A (WHPA-A)</i>	<ul style="list-style-type: none"> i) Land application of untreated septage; ii) The storage, treatment or discharge of tailings from mining operations; iii) The storage of hazardous or liquid industrial waste;

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Table 4.28: Prohibited Uses and Activities in Wellhead Protection Areas

Area (as delineated on Schedule "C")	Prohibited Uses and Activities
	<ul style="list-style-type: none"> iv) The storage of sewage; v) <i>Uses, buildings</i> or <i>structures</i> that would require a new septic system or septic system holding tank, with the exception of those required for a municipal water supply well; vi) Application of Non-Agricultural Source Material (NASM) to land; vii) The handling and storage of commercial fertilizer that would be stored at facilities where it would be sold or <i>used</i>; viii) The application of pesticides to land; ix) The handling and storage of pesticides (greater than 2500 kg) at a facility where they are manufactured, distributed or processed; x) The handling and storage of road salt in any form (solid, liquid, mixed with sand and including for the <i>use</i> as a dust suppressant); xi) The handling and storage of fuel; xii) The handling and storage of dense non-aqueous phase liquids (DNAPLs), through all phases of its life cycle including disposal; and xiii) The handling and storage of organic solvents, through all phases of its life cycle including disposal.
<i>Wellhead Protection Area B (WHPA-B)</i>	All of the <i>uses</i> and activities prohibited in <i>WHPA-A</i> area.
<i>Wellhead Protection Area C (WHPA-C)</i>	<ul style="list-style-type: none"> i) The storage of hazardous or liquid industrial waste; and ii) The storage of sewage.

4.29 Upper Thames River Conservation Authority Regulated Area (Schedule "A" Overlay)

The *Upper Thames River Conservation Authority's Regulated Area*, as illustrated on Schedule "A" as an overlay, indicates the areas that are subject to *Upper Thames River*

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Conservation Authority regulation under Section 28 of the *Conservation Authorities Act*, 1990, as amended, for any development (including site alteration), any interference with wetlands and alterations to shorelines and watercourses. In this regard, the *Upper Thames River Conservation Authority* must be contacted prior to any such work taking place in the *Regulated Area*. The underlying *zone* category on Schedule "A" shall apply in addition to the provisions of this Section.

Development in the *Conservation Authorities Act*, 1990, as amended, is defined as (a) the construction, reconstruction, erection or placing of a *building* or *structure* of any kind; (b) any change to a *building* or *structure* that would have the effect of altering the *use* or potential *use* of the *building* or *structure*, increasing the size of the *building* or *structure* or increasing the number of *dwelling units* in the *building* or *structure*; (c) site grading; or (d) the temporary or permanent placing, dumping or removal of any material, originating on the site or elsewhere.

The *Regulated Area* overlay may differ from the area delineated on Schedule "A", as it may be subject to changes resulting from new environmental information obtained by the *Upper Thames River Conservation Authority* over time. The boundaries of the *Regulated Area* shall be determined by *Upper Thames River Conservation Authority*. In case of a conflict between the description of the *Regulated Area* in the text of the regulation and the areas as shown on Schedule A, the description of the *Regulated Area* in the regulation prevails. An amendment to this By-law shall not be required to update or revise the limits of the *Regulated Area* as illustrated on Schedule "A".

The following provisions shall apply to all lands within the *Upper Thames River Conservation Authority Regulated Area* (on Schedule "A" or to lands that meet the description of *regulated areas* in *Upper Thames River Conservation Authority* regulation):

- a) Development (as defined above) is subject to *Upper Thames River Conservation Authority* review and may require a permit pursuant to *Upper Thames River Conservation Authority* regulation, prior to any works taking place.
- b) The *Regulated Area* shown on Schedule "A" may be subject to change. The final boundaries of the *Regulated Area* shall be determined by the *Upper Thames River Conservation Authority*.
- c) The following *uses* shall be prohibited in lands identified as *hazard lands*, as

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determined by the Municipality in consultation with the *Conservation Authority*.

- i) *institutional uses* including *hospitals*, long-term care homes, *retirement homes*, *day cares centres*, and *schools*;
- ii) essential emergency services including fire, police, ambulance stations and electrical substations; and
- iii) *uses* associated with the disposal, manufacture, treatment or storage of *hazardous substances*, but excluding *public uses* and *public utility uses* where required.

4.30 Walkways

4.30.1 Location and Width

- a) *Walkways* shall be permitted in any *yard*, including a *required yard*, except that, where a *front yard* is less than 8.0 m in width, no *walkway* shall be permitted in addition to a *driveway* within the front 4.5 m of any *front yard* where such *walkway* would reduce the *landscaped open space* to less than 3.0 m in width.
- b) No *walkway* leading to a *dwelling*, other than an *apartment building*, shall exceed 1.5 m in width, except that, any *walkway* that is adjacent to, or is within 0.5 m of and runs parallel to a *driveway*, shall not exceed 1.0 m in width.
- c) Any *walkway* adjacent to a *driveway* shall be separated from such *driveway* by a minimum of 0.5 m of *landscaped open space* or by a minimum *height* of 10 cm above the grade of such *driveway* where it *abuts* the *walkway*.
- d) Where a *walkway* runs parallel to a *driveway* and is located directly adjacent to a *driveway*, the *walkway* shall be considered part of the *driveway*.
- e) Where a *walkway* runs parallel to a *driveway* and is located greater than 3.0m from the *driveway*, the *walkway* with a maximum width of 1.5m shall be included in the calculation of *landscaped open space*.

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SECTION 5 PARKING AND LOADING REQUIREMENTS

5.1 Minimum Parking Space Requirements

- a) The minimum number of *parking spaces* for motor *vehicles* shall be provided and maintained on a *lot* in accordance with [Table 5.1](#).

Table 5.1: Minimum Parking Space Requirements

Use	Minimum Number of Parking Spaces
<i>adult entertainment establishment</i>	1.0 per 18 m ² of <i>net floor area</i>
<i>agricultural equipment sales or rental establishment</i>	1.0 per 100 m ² of <i>net floor area</i>
<i>amusement arcade</i>	1.0 per 15 m ² of <i>net floor area</i>
<i>amusement park</i>	1.0 per 10 m ² of <i>net floor area</i>
<i>animal shelter</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>auditorium</i>	1.0 per 18 m ² of <i>net floor area</i>
<i>auction sales establishment</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>bed and breakfast establishment</i>	Refer to Section 4.3
<i>brew-pub</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>brew your own establishment</i>	1.0 per 40 m ² of <i>net floor area</i>
<i>building materials yard</i>	1.0 per 100 m ² of <i>net floor area</i>
<i>bus transportation terminal</i>	1.0 per 100 m ² of <i>net floor area</i>
<i>car wash</i>	1.0 in addition to the required <i>stacking spaces</i> as provided in Section 4.8 (Drive Through, Stacking lanes and Stacking Spaces)
<i>cemetery</i>	no minimum requirement
<i>clinic</i>	1.0 per 15 m ² of <i>net floor area</i>
<i>conservation use</i>	no minimum requirement
<i>contractors' yard or shop</i>	1.0 <i>parking spaces</i> per 80 m ² of net floor area
<i>convenience store</i>	1.0 per 15 m ² of <i>net floor area</i> ③
<i>crematorium</i>	1.0
<i>data centre</i>	1.0 per 50 m ² of <i>net floor area</i>
<i>day care centre</i>	1.0 per 35 m ² of <i>net floor area</i>
<i>dry cleaning establishment</i>	1.0 per 100m ² of <i>net floor area</i>

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PARKING AND LOADING REQUIREMENTS

Table 5.1: Minimum Parking Space Requirements

Use	Minimum Number of Parking Spaces
<i>dry cleaning drop off establishment</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>dwelling:</i>	
<i>apartment building</i>	1.25 per <i>dwelling unit</i> ①
<i>back-to-back townhouse dwelling</i>	1.5 per <i>dwelling unit</i> ① ②
<i>boarding house dwelling</i>	1.0 plus 1 per 2 <i>guest rooms</i>
<i>cluster townhouse dwelling</i>	1.5 per <i>dwelling unit</i> ① ②
<i>converted dwelling</i>	1.0 per <i>dwelling unit</i>
<i>duplex dwelling</i>	1.5 per <i>dwelling unit</i>
<i>quadruplex dwelling</i>	1.0 per <i>dwelling unit</i>
<i>semi-detached dwelling</i>	2.0 per <i>dwelling unit</i>
<i>single detached dwelling</i>	2.0 per <i>dwelling unit</i>
<i>stacked townhouse dwelling</i>	1.5 per <i>dwelling unit</i> ① ②
<i>street townhouse dwelling</i>	2.0 per <i>dwelling unit</i>
<i>triplex dwelling</i>	1.0 per <i>dwelling unit</i>
<i>equipment rental establishment</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>equipment service establishment</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>factory store</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>financial institution</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>fitness club</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>food processing establishment</i>	1.0 per 80 m ² of <i>net floor area</i>
<i>fuel storage depot</i>	1.0
<i>funeral home</i>	1.0 per 20 m ² of <i>net floor area</i>
<i>garden centre</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>garden suite</i>	Refer to Section 4.10
<i>gas bar</i>	2.0
<i>golf course</i>	6.0 per hole, plus 1.0 per 25 m ² of <i>net floor area</i> for any <i>accessory uses</i>
<i>group home</i>	2.0
<i>hospice</i>	1.0 per each resident care

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PARKING AND LOADING REQUIREMENTS

Table 5.1: Minimum Parking Space Requirements

Use	Minimum Number of Parking Spaces
<i>hospital</i>	1.0 per 2 beds
<i>hostel</i>	1.0 per 4 beds plus, either 1.0 additional <i>parking space</i> plus 1.0 <i>loading space</i> for the parking of a bus or 4.0 additional <i>parking spaces</i>
<i>hotel</i>	1.0 per guestroom, plus 1.0 per 30 m ² of <i>net floor area</i> outside of a guestroom
<i>industrial mall</i>	1.0 per 65 m ² of <i>net floor area</i>
<i>industrial use</i>	1.0 per 80 m ² of <i>net floor area</i>
<i>inn</i>	1.0 per <i>guest room</i> plus 1.0 per <i>dwelling unit</i>
<i>large merchandise outlet</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>laundromat</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>library</i>	1.0 per 28 m ² of <i>net floor area</i>
<i>licensed gaming establishment</i>	1.0 per 15 m ² of <i>net floor area</i>
<i>merchandise rental shop</i>	1.0 per 15 m ² of <i>net floor area</i>
<i>merchandise service shop</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>motor vehicle repair shop</i>	1.0 per 100 m ² of <i>net floor area</i>
<i>motor vehicle body shop</i>	1.0 per 100 m ² of <i>net floor area</i>
<i>motor vehicle sales or rental establishment</i>	1.0 per 100 m ² of <i>net floor area</i>
<i>motor vehicle service station</i>	1.0 per 100 m ² of <i>net floor area</i>
<i>nursery</i>	1.0 per 70 m ² of <i>net floor area</i>
<i>nursing home</i>	1.0 per 3 beds
<i>office:</i>	
<i>professional office</i>	1.0 per 50 m ² of <i>net floor area</i>
<i>business office</i>	1.0 per 50 m ² of <i>net floor area</i>
<i>performing arts studio</i>	1.0 per 15 m ² of <i>net floor area</i>
<i>personal care establishment</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>personal service establishment</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>pet grooming establishment</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>private club</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>private home day care</i>	1.0 additional space
<i>recreational entertainment establishment</i>	1.0 per 15 m ² of <i>net floor area</i>

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PARKING AND LOADING REQUIREMENTS

Table 5.1: Minimum Parking Space Requirements

Use	Minimum Number of Parking Spaces
<i>recreational park</i>	1.0 per 18.0 m ² of <i>net floor area</i> ; plus 4 <i>parking spaces</i> per outdoor playing court; plus 12 <i>parking spaces</i> per outdoor playing field
<i>recreational vehicle sales or rental establishment</i>	1.0 per 100 m ² of <i>net floor area</i>
<i>place of worship</i>	1.0 per 4 persons capacity in the largest place of assembly
<i>restaurant:</i>	
<i>drive-in restaurant</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>eat-in restaurant</i>	1.0 per 10 m ² of <i>net floor area</i>
<i>take-out restaurant</i>	1.0 per 10 m ² of <i>net floor area</i>
<i>retail store</i>	Greater than 2,000 m ² - 1.0 per 30 m ² of <i>net floor area</i> less than or equal to 2000 m ² - 1.0 per 25 m ² of <i>net floor area</i>
<i>retirement home</i>	1.0 space for every 2 <i>dwelling units</i> or rooms (if units are not proposed) ①
<i>salvage yard</i>	1.0 per 30 m ² of <i>gross floor area</i> which accommodates the <i>office</i> and retail components of the <i>use</i>
<i>second suite</i>	Refer to Section 4.24
<i>school:</i>	
<i>commercial school</i>	1.0 per 20 m ² of <i>net floor area</i>
<i>elementary school</i>	1.5 per classroom, not including any portables
<i>private school</i>	for elementary, 1.5 per classroom, not including any portables for secondary, 4.0 per classroom, not including any portables
<i>secondary school</i>	4.0 per classroom, not including any portables
<i>post-secondary school</i>	1.0 per classroom plus 1 per 100 m ² of <i>net floor area</i>
<i>scientific or medical laboratory</i>	1.0 per 80 m ² of <i>net floor area</i>
<i>self-storage establishment</i>	1.0 per 100 m ² of <i>net floor area</i>
<i>service trade</i>	1.0 per 30 m ² of <i>net floor area</i>

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PARKING AND LOADING REQUIREMENTS

Table 5.1: Minimum Parking Space Requirements

Use	Minimum Number of Parking Spaces
<i>shopping centre</i>	Greater than 2,000 m ² : 1.0 per 30 m ² of <i>net floor area</i> less than or equal to 2000 m ² : 1.0 per 25 m ² of <i>net floor area</i>
<i>short term rental accommodation</i>	Refer to Section 4.3
<i>studio</i>	1.0 per 15 m ² of <i>net floor area</i>
<i>supermarket</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>tavern</i>	1.0 per 6.0 m ² of <i>net floor area</i>
<i>taxi dispatch establishment</i>	1.0 per 6.0 m ² of <i>net floor area</i>
<i>theatre</i>	1.0 per 4 persons seating capacity
<i>theatre classroom</i>	No additional parking required if on the same <i>lot</i> as a <i>theatre</i>
<i>theatre retail store</i>	No additional parking required if on the same <i>lot</i> as a <i>theatre</i>
<i>theatre restaurant</i>	No additional parking required if on the same <i>lot</i> as a <i>theatre</i>
<i>trailer camp</i>	1.0 per 4 camp sites
<i>truck terminal</i>	1.0 per 100 m ² of <i>net floor area</i>
<i>veterinarian clinic</i>	1.0 per 30 m ² of <i>net floor area</i>
<i>video rental establishment</i>	1.0 per 15 m ² of <i>net floor area</i>
<i>warehouse</i>	1.0 per 100 m ² of <i>net floor area</i>
all other non-residential <i>uses</i> permitted herein	1.0 per 30 m ² of <i>net floor area</i>

Additional Regulations for Minimum Parking Space Requirements of Table 5.1

Visitor Parking Requirements:

- ① Of the total number of *parking spaces* required, 0.25 of the *parking spaces* required per *dwelling* shall be designated as visitor *parking spaces*.
- ② The visitor *parking spaces* for a *townhouse dwelling* and *apartment building* in a *condominium* shall be located on a parcel of land tied to a common area.

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PARKING AND LOADING REQUIREMENTS

Other:

- ③ The parking rate for a *convenience store* accessory to a *gas bar* is 1.0 per 20 m² of *net floor area*.

5.1.1 Shared Parking Space Requirements for Mixed Use Developments

For mixed-*use* developments, such as *apartment buildings* and commercial *uses*, where more than one of the *uses* listed in Table 5.1.1 are located on the same *lot*, the overall *parking space* requirement may be reduced through the sharing of *parking spaces*, and the cumulative total of *parking spaces* required for all the *uses* on the *lot* may be calculated as follows:

- a) Calculate the minimum required *parking spaces* for each *use* in the mixed-*use* development in accordance with Section 5.1 (Minimum Parking Space Requirements) of this By-law;
- b) Multiply the number of *parking spaces* required in the By-law by the occupancy rate for each *use* in each of the three time periods in Table 5.1.1;
- c) For each time period add the *parking space* calculations for all the *uses* to arrive at a cumulative total; and
- d) The largest cumulative total of all the *uses* in any time period is the minimum number of required *parking spaces* required for the *lot*.

All required *parking spaces* must be accessible for all *uses* at all times and may not be reserved for any specific *use*.

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PARKING AND LOADING REQUIREMENTS

Table 5.1.1: Shared Parking Space Formulae

Use	Morning Occupancy Rate	Afternoon Occupancy Rate	Evening Occupancy Rate
<i>Office</i> (including a <i>clinic</i> , <i>professional office</i> , or <i>business office</i>)	1.00	0.95	0.10
Retail/Commercial Use, <i>Shopping Centre</i>	0.60	1.00	0.85
<i>Restaurant</i>	0.20	0.60	1.00
Visitor Parking for an Residential <i>Dwelling</i>	0.20	0.35	1.00
<i>Hotel</i>	0.70	0.70	1.00

5.1.2 Calculation of Required Parking Spaces

5.1.2.1 Rounding

Where part of a *parking space* is required, such part shall be considered one *parking space* for the purpose of calculating the minimum total *parking space* requirements.

5.1.2.2 Multiple Uses on a Lot

Where a *building* or *structure*, other than a *shopping centre* or an *industrial mall*, or *lot* accommodates more than one *use*, the *parking space* requirements for the *lot* shall be the sum of the requirements for the individual *uses*, unless the [Section 5.1.1](#) (Shared Parking Spaces for Mixed Use Developments) apply.

5.1.2.3 Building Additions and Change of Use

Parking spaces shall be provided for any addition to a *building* or *structure* or a change in *use*, except that, where a *building* or *structure* has less than the required *parking spaces* as of the effective date of this By-law, this By-law shall not be interpreted to require that the deficiency be made up in the event of an addition or change of *use* provided that any parking required for such addition or change of *use* is provided.

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5.2 Parking Space Dimensions and Requirements

- a) A *parking space* not located in a *private garage* shall have a minimum width of 2.8 m and a minimum length of 5.6 m, except that:
 - i) the minimum width shall be 2.4 m for a *parking space* associated with a *single detached dwelling, converted dwelling, semi-detached dwelling*, or a *townhouse dwelling*;
 - ii) the minimum width for a *parking space*, other than for a *single detached dwelling, converted dwelling, semi-detached dwelling* or a *townhouse dwelling*, shall be 3.0 m where the side of such *parking space* *abuts* either a *lot line*; a wall; or other obstruction or part thereof which is 0.2 m or more in *height* above the surface of such *parking space* in any area where a *vehicle* door would open;
 - iii) a parallel or angled *parking space* which is less than 59 degrees shall have a minimum width of 2.8 m and a minimum length of 6.5 m.
- b) The minimum dimensions of a *parking space* located in a *private garage* shall be 5.6 m in length and:
 - i) the minimum width shall be 2.8 m;
 - ii) the minimum width of a *private garage* opening providing access to a *parking space* shall be 2.4 m.
- c) The minimum dimension of a *parking space* provided with the length parallel to the aisle or *driveway* shall be 2.8 m in width and 6.8 m in length.
- d) All required *parking spaces* shall be provided on the same *lot* occupied by the *building, structure* or *use* for which such *parking spaces* are required.

Notwithstanding the above, in a Commercial, Industrial or Institutional *zone*, any amount of the required number of *parking spaces* may be provided on another *lot* that is located within 200 m of the subject *lot*. Where any *parking spaces* are provided on another *lot* in which the *use* is located, a Site Plan Agreement or other agreement shall be executed with the City. Such

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PARKING AND LOADING REQUIREMENTS

agreement shall be *registered* on the title of the lands *used* for the *parking spaces* to ensure the required number of *parking spaces* on the subject *lot* are retained. Notwithstanding the above, required visitor *parking spaces*, *barrier free parking spaces*, *loading spaces* and *bicycle parking spaces*, where required by this By-law, shall not be accommodated on another *lot*.

5.3 Driveway, Parking Aisle and Parking Area Requirements

5.3.1 Driveway and Parking Aisles Dimensions

- a) *Driveways* leading directly to a *parking area*, and *parking aisles* shall have a minimum unobstructed width of 6.0 m where two-way traffic is permitted, except that:
 - i) the minimum *driveway* width required for any *driveway* associated with a *single detached dwelling*, *semi-detached dwelling*, or *townhouse dwelling* shall be 2.4 m;
 - ii) the minimum *driveway* width required for any *driveway* providing access to no more than 4 *parking spaces* required for a residential *dwelling*, exclusive of any right-of-way, shall be 3.0 m, regardless of the direction of traffic flow;
 - iii) the minimum *driveway* width required for any *driveway* associated with an *existing building* in the MUR *zone*, providing access to no more than 8 *parking spaces*, shall be 3.0 m, regardless of the direction of traffic flow. The minimum *driveway* width required for any *driveway* associated with an *existing building* in the MUR *zone*, providing access to 8 or more *parking spaces*, shall be 3.5 m; and
 - iv) where one-way direction of traffic flow is permitted and indicated by *signs* and markings, where required the minimum *parking aisle* width shall be as indicated in Table 5.3.1, and as illustrated on the following figure:

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Table 5.3.1: Minimum Aisle Width for One way Traffic

Angle of Parking Space (A) Dimension	Minimum Aisle Width (m) (B) Dimension
0° - 40° parking	3.5 m
41° - 55° parking	4.5 m
56° - 70° parking	5.5 m
71° - 90° parking	6.0 m

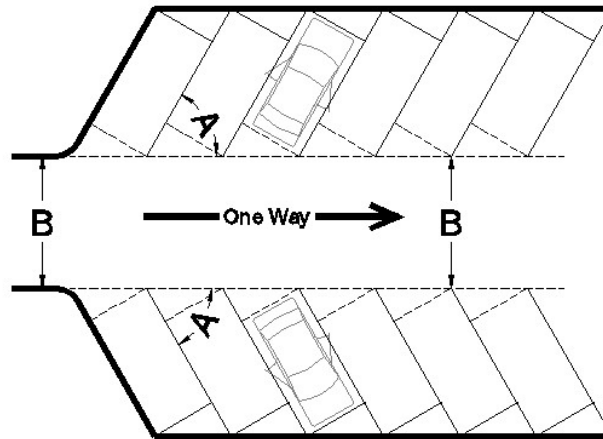


Illustration of one-way aisle width requirements based on angle of parking space

b) The maximum width of a *driveway* associated with:

i) a *dwelling* shall be 8.0 m, except that:

- no *driveways* shall exceed in total width, one-half the width of the *lot* facing the *street*; and,
- no *driveway* leading directly to a *parking area* shall exceed the width of the *parking area* to which the *driveway* leads, within the *required yard setback*. Notwithstanding, where a *parking area* is 5.5 m in width or less, the *driveway* may have a maximum width of 5.5 m or 40% of the width of the *lot*, whichever is the lesser.

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ii) an *industrial use* in an Industrial *Zone* shall be 10.0 m; and

iii) any other *use* or *building* not specified herein shall be 9.0 m;

which shall be measured parallel to the *street*, at any point on the *lot* closer to the *street* than the *setback* required.

5.3.2 Location of Driveways, Parking Areas and Parking Aisles

- a) Except as otherwise provided herein, *driveways* shall be permitted in any *yard*, including any *required yard*.
- b) The location of uncovered surface *parking areas* and *parking aisles* are prohibited in *required yard setbacks*, except in accordance with Table 5.3.2, and unless otherwise legally permitted prior to the passing of this By-law.

Table 5.3.2: Location of Driveways, Parking Areas and Parking Aisles

	Use	Where Parking Areas & Parking Aisles are Permitted	Special Requirements
i)	<i>Single detached dwelling</i> <i>Semi-detached dwelling</i> <i>Boarding house dwelling</i> <i>Converted dwelling</i> <i>Group home</i> <i>Street townhouse dwelling</i>	Permitted in a <i>driveway</i> in the required <i>front yard setback</i> , <i>interior side yard setback</i> , or <i>rear yard setback</i> .	none

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Table 5.3.2: Location of Driveways, Parking Areas and Parking Aisles

	Use	Where Parking Areas & Parking Aisles are Permitted	Special Requirements
ii)	<i>Duplex dwelling</i> <i>Triplex dwelling</i> <i>Quadruplex dwelling</i> <i>Cluster townhouse dwelling</i> <i>Stacked townhouse dwelling</i> <i>Back-to-back townhouse dwelling</i>	<p>Permitted in a <i>driveway</i> in the required <i>front yard setback</i>, <i>interior side yard setback</i>, or <i>rear yard setback</i>.</p> <p>Permitted in a <i>parking area</i> in the required <i>interior side yard setback</i> or <i>rear yard setback</i>.</p> <p>Permitted in a <i>parking area</i> in the <i>front yard</i> or <i>exterior side yard</i>, but not within a required <i>front yard</i> or <i>exterior side yard setback</i>.</p>	<p>Cannot be located closer than 0.5 m to any <i>interior side lot line</i> or 1.5 m to a <i>rear lot line</i>.</p>
iii)	<i>Apartment building</i>	<p>Permitted in a <i>parking area</i> in the required <i>interior side yard setback</i> and required <i>rear yard setback</i>.</p> <p>Permitted in a <i>parking area</i> in the <i>front yard</i> or <i>exterior side yard</i>, but not within a required <i>front yard</i> or <i>exterior side yard setback</i>.</p>	<p><i>Parking Areas</i> and <i>parking aisles</i> must be separated from any <i>lot line</i> by a <i>planting strip</i> in accordance with Section 4.21 (Planting Strips).</p>

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Table 5.3.2: Location of Driveways, Parking Areas and Parking Aisles

	Use	Where Parking Areas & Parking Aisles are Permitted	Special Requirements
iv)	All other <i>uses</i>	<p>Permitted in a <i>parking area</i> in the required <i>interior side yard setback</i> and required <i>rear yard setback</i>.</p> <p>Permitted in a <i>parking area</i> in the <i>front yard</i> or <i>exterior side yard</i>, but not within a required <i>front yard</i> or <i>exterior side yard setback</i>.</p>	<p><i>Parking areas</i> and <i>parking aisles</i> must be separated from any <i>lot line</i> by a <i>planting strip</i> in accordance with Section 4.21 (Planting Strips).</p>

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PARKING AND LOADING REQUIREMENTS

Table 5.3.2: Location of Driveways, Parking Areas and Parking Aisles

	Use	Where Parking Areas & Parking Aisles are Permitted	Special Requirements
v)	Any <i>use</i> on a <i>lot abutting</i> an arterial or <i>four lane collector street</i> on Schedule "B"	Permitted in a <i>parking area</i> in the required <i>front yard</i> , <i>exterior side yard</i> , <i>interior side yard</i> and <i>rear yard setback</i> .	<p><i>Parking areas</i> and <i>parking aisles</i> must be separated from any <i>lot line</i> by a <i>planting strip</i> in accordance with Section 4.21 (Planting Strips).</p> <p><i>Parking areas</i> and <i>parking aisles</i> cannot be located less than 7.5 m from the <i>street line</i> where the <i>street</i> is shown as having a width of 30 m or greater on Schedule "B," and <i>parking areas</i> and <i>parking aisles</i> cannot be located less than 7.5 m plus the amount required from that side of the <i>street</i> to create a 30 m wide <i>street</i> where the <i>street</i> is shown as having an existing width of less than 30 m on Schedule "B".</p>

Additional Regulations for Table 5.3.2

1. Notwithstanding the provisions of [Table 5.3.2](#), for a *through lot*, *driveways*, *parking areas* and *parking aisles* may be permitted in a required *rear yard setback*, provided a *parking area* and *parking aisle* is located no closer than 0.5 m to an *interior side lot line* and 1.5 m to a *rear lot line* or *exterior side lot line*.
2. A *driveway*, *parking area*, or *parking aisle* may be established closer than 1.5 m to any *lot line abutting* a *lot* with an *existing structure* in the MUR *Zone*.
3. Nothing in this By-law shall prevent a *driveway* from crossing a *lot line* in order to

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provide access to a *lot* from either an *abutting lot* or an *improved street*.

4. More than one of the provisions of [Table 5.3.2](#) may apply to a *lot*.

5.3.2.1 Central Business District

Notwithstanding [Section 5.3.2](#) (Location of Driveways, Parking Areas and Parking Aisles), for any non-residential, mixed-*use* development, or *apartment building* in the *CBD*, no *parking area* shall be permitted in any part of the *front yard* and/or *exterior side yard* that is located between the front and/or exterior side face of the *building* and the *front lot line* and/or *exterior side lot line*.

5.3.3 Access to Parking Areas and Parking Spaces

- a) Access to *parking areas* shall be provided from an *improved street* by means of one or more unobstructed *driveways*, provided that:
 - i) in any *zone*, other than a C4 *zone*, no *lot* shall have more than one *driveway* located within 30 m of another *driveway*, measured along the *street line*, and,
 - ii) in a C4 *zone*, the minimum distance between any *driveway* providing access to one or more *lots*, shall not be located within 30 m of another *driveway*, measured along the *street line*.
- b) Every required *parking space* shall be accessible to a *vehicle* at all times and *vehicular* access to any such *parking space* shall not be impeded by any obstruction except as otherwise provided herein.
- c) Nothing in this subsection shall apply to prevent the erection of a gate, a temporary barrier or similar obstruction *used* solely to restrict access over a *driveway* and designed to be raised, swung aside or otherwise opened or removed when necessary to permit passage of a *vehicle*.
- d) Nothing in this subsection shall apply to prevent *tandem parking* within a *driveway* exclusively devoted to a single *dwelling unit* to a depth of two vehicles, and in accordance with any other provisions of this By-law. *Tandem parking* shall not be permitted for designated visitor *parking spaces*.
- e) The minimum angle of intersection between a *driveway* and a *street line*

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shall be 60 degrees.

- f) The minimum distance between a point of intersection of *street lines* and a *driveway* providing access to a *lot* from an *improved street*, measured along the *street line*, shall be the greater of 7.5 m or the requirements of [Section 4.7](#) (Daylight Triangles and Visibility Triangles), except that:

- i) in a C4 *zone*, the minimum shall be 25 m;
- ii) where an *arterial street* intersects an *arterial street* or a *collector street*, the minimum for the *arterial street* shall be:

where the *street allowance* is 30 m or greater, 15 m, measured from that intersection, and,

where the *street allowance* is less than 30 m, 15 m plus if applicable the *street* widening required for that side of the *existing street* necessary to meet the design width of the street in Schedule B measured from that intersection;

- iii) where a *four lane collector street* intersects an *arterial street* or a *collector street*, the minimum for the *four lane collector street* shall be:

where the *street allowance* is 30 m or greater, 10 m, measured from that intersection, and,

where the *street allowance* is less than 30 m, 10 m plus if applicable the *street widening* required for that side of the *existing street* necessary to meet the design width of the street in Schedule B measured from that intersection.

- iv) where a *two lane collector street* intersects an *arterial street* or a *collector street* and the *street allowance* is less than 23 m, the minimum shall be 7.5 m plus if applicable the *street widening* required for that side of the *existing street* necessary to meet the design width of the street in Schedule B measured from that intersection.

- g) Where a two-way *driveway* is divided into two one-way *driveways* by a curb,

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an area of *landscaped open space*, or any other obstruction, such *driveway* shall, for the purposes of this subsection, be considered a single *driveway*.

- h) Nothing in this subsection shall apply to prevent the *use* of a right-of-way as a means of obtaining access to a *parking area* provided the said right-of-way has been established for such purpose.
- i) Nothing in this subsection shall apply to prevent the establishment of *driveways* or *parking aisles abutting* a common *lot line*, provided the combined width of such *abutting driveways* does not exceed the width outlined in section 5.3.1b).
- j) Nothing in this subsection shall apply to prevent the establishment or *use* of a circular or semi-circular *driveway* for the purpose of loading or unloading passenger or other *vehicles*, even though such *driveway* may not lead to a *parking area* or may be located within a *required yard*, provided that such *driveway*:
 - i) complies with all provisions hereof regulating *driveways* at any point where the said *driveway* intersects a *street line*; and,
 - ii) does not provide direct access to any *parking space* except where the said *driveway* complies with all provisions herein regulating *parking aisles* or constitutes a *driveway accessory* to a *single detached dwelling*.
- k) Vehicular access from a *driveway* or *parking aisle* leading directly from a *parking area* or a *loading space* to a *street* shall be provided in a forward *vehicular* motion in any *zone*, except in a Residential *Zone*, where the *driveway* provides access to no more than 2 *dwelling units*.

5.3.4 Surfacing of Parking Areas, Driveways and Loading Spaces

- a) All *parking areas*, *driveways*, and *loading spaces* in any *zone* other than a Parks and Open Space *Zone*, an Industrial *Zone*, or an Agricultural *Zone* shall be provided and maintained with a stable treated surface so as to prevent the raising of dust or loose particles, such surface to be constructed of: asphalt, concrete, brick, interlocking brick, permeable paving, cement, or other similar hardscape surface, sufficient to provide stability, prevent

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erosion, be usable in all seasons, and allow infiltration of surface water and provide adequate drainage facilities.

- b) Except as otherwise provided herein, the land in any *required yard* on a *lot* adjacent to a *driveway* shall be maintained as *landscaped open space*.

5.3.5 Large Surface Parking Area Requirements

- a) Where large surface *parking areas* are proposed, which comprise over 50 *parking spaces* on a *lot*, in a Residential *Zone*, Commercial or Mixed Use *Zone*, or Institutional *Zone*, the following requirements shall apply:
 - i) A minimum of 15% of the surface *parking area*, above and beyond the required *landscaped open space*, shall comprise landscaped traffic islands or landscaped strips, which may include *signed* pedestrian *walkways*, tree/shrub plantings, decorative fencing or low walls.
 - ii) Large surface *parking areas* shall be divided into smaller *parking areas* through the *use* of soft and hard landscaping in order to minimize the amount of contiguous paved surface *parking areas*. Parking rows which exceed 50m in length shall be subdivided through landscaped breaks such as landscaped traffic islands or landscaped strips.

5.3.6 Maximum Number of Driveways

- a) A maximum of one *driveway* access is permitted to cross a *front lot line* or *exterior lot line* if the applicable *lot line* is less than 18.0 m in width.
- b) Notwithstanding subsection (a) above, one *driveway* per *dwelling unit* is permitted on a block designated for semi-detached or *condominium townhouse dwellings* provided the *driveway* meets all provisions of this By-law as they would apply to the future *lot*.
- c) Notwithstanding subsection (a) above, two *driveways* are permitted on a *lot* with a *triplex dwelling* or *quadruplex dwelling*.

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5.3.7 Parking Provisions for Other Vehicles Associated with Residential Uses

This Section applies to the parking of the *vehicles* on any lands *used* for a *dwelling* in a Residential *Zone*.

5.3.7.1 Commercial Vehicles

Parking in a *driveway* of one *commercial vehicle* is permitted provided the *commercial vehicle*:

- a) does not exceed a maximum *vehicle* length of 6.0 m; and,
- b) does not exceed a maximum *vehicle height* of 2.3 m.

5.3.7.2 Recreational Vehicles

The following regulations shall apply to parking of *recreational vehicles* in a Residential *Zone*:

- a) any trailer or *recreational vehicle* that does not exceed a *height* of 2.3 m and a length of 7.0 m exclusive of hitch or tongue may be parked in any *exterior yard, interior side yard* or *rear yard* year-round;
- b) any trailer or *recreational vehicle* that does not exceed a *height* of 2.3 m and a length of 7.0 m exclusive of hitch or tongue may be parked on a *driveway* only between May 1st and October 31st;
- c) any trailer or *recreational vehicle* that exceeds a *height* of 2.3 m and a length of 7.0 m exclusive of hitch or tongue may be parked on a *lot* only between May 1st and October 31st and only in any exterior yard, *interior side yard*, or *rear yard*. The trailer or recreational *vehicle* shall be set back 7.5 m from the *exterior lot line*;
- d) the maximum total number of *trailers* and *recreational vehicles* permitted on a *lot* is two.
- e) parking shall be accommodated on the *lot* and not located within a *daylight*

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triangle or *visibility triangle* in accordance with [Section 4.7](#); and

- f) no trailer or *recreational vehicle* shall be *used* for the living, sleeping or accommodation of persons for a period of more than 15 consecutive days. The *lot* on which the trailer or *recreational vehicle* is *used* must have a residential *dwelling unit*.

5.3.7.3 Prohibited Motor Vehicle Parking

The parking and storage of the following *vehicles* are prohibited outside of a *building* on all *lots* in a Residential *Zone*:

- a) unlicensed *motor vehicles*;
- b) *motor vehicles* equipped with more than three axles, excluding space wheels designed to support the *vehicle* when parked or stored;
- c) buses;
- d) *vehicles* designed to run only on rails;
- e) farm tractors;
- f) construction *vehicles*;
- g) tracked *vehicles*, except for snowmobiles; and,
- h) *vehicles* in a wrecked, dismantled, or inoperative condition.

5.3.8 Structured and Underground Parking Areas

- a) Nothing in this By-law shall apply to prohibit the location of an underground *parking area* in any yard, provided that no part of any underground *parking area* shall be situated above *finished grade* in any *required yard*.
- b) Where above grade parking *structures* are proposed in the *CBD*, and where a *commercial parking lot* is not the principal *use* of the *lot*, the *ground floor* level of the parking *structure* that *abuts* a *front yard* or *exterior side yard* shall consist of commercial or *office uses*, or common areas associated with

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a mixed *use* development or *apartment building*, where permitted, to appropriately screen the parking *structure* and minimize visual impact.

5.3.9 Parking Shelters

- a) Nothing in this By-law shall prevent the erection of a *building* or *structure* for *use* solely by parking attendants in any part of a *parking area*, except within a *visibility triangle*, provided such *building* or *structure* is not more than 4.5 m in *height* and has a *floor area* of not more than 5.0 m².
- b) No *gas bar* or *motor vehicle service station* shall be located on, or maintained in any *parking area*, except where specifically permitted herein.

5.4 Barrier Free Parking Space Requirements

The following requirements shall apply to the provision of *barrier free parking spaces*, in addition to the other *parking space*, *parking area*, and *parking aisle* requirements of this By-law.

5.4.1 Minimum Barrier Free Parking Spaces

The required minimum number of *barrier free parking spaces* shall be calculated based on, and included, in the total number of *parking spaces* required on the *lot*, in accordance with [Table 5.4.1](#).

Table 5.4.1: Minimum Barrier Free Parking Spaces

Total Number of Required Parking Spaces	Minimum Number of Barrier Free Parking Spaces ①②
1 to 12	1 (required to be a Type A <i>barrier free parking space</i>)
13 to 100	4% of total
101 to 200	1 + 3% of total
201 to 1,000	2 + 2% of total
Over 1,000	11 + 1% of total

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Additional Regulations for Table 5.4.1

1. *Barrier free parking spaces* shall not be required for residential *uses*, except for *apartment buildings*, *stacked townhouse dwellings*, *back-to-back townhouse dwellings*, and *cluster townhouse dwellings*, where they shall be calculated and designated based on the required number of *parking spaces*.
2. *Barrier free parking spaces* for a *retirement home*, *hospice* and *nursing home* shall be calculated and designated in accordance with Table 5.4.1.

5.4.2 Calculation of Barrier Free Parking Spaces

5.4.2.1 Rounding

Where part of a *barrier free parking space* is required, such part shall be considered one *barrier free parking space* for the purpose of calculating the minimum total *barrier free parking space* requirements.

5.4.2.2 Type of Barrier Free Parking Spaces Required

- a) Where an even number of *barrier free parking spaces* are required, an equal number of Type A and Type B *barrier free parking spaces* must be provided.
- b) Where an odd number of *barrier free parking spaces* are required, the number of *barrier free parking spaces* must be divided equally between Type A and Type B *barrier free parking spaces*, but the additional odd-numbered *barrier free parking space* may be a Type B *barrier free parking space*.

5.4.2.3 Building Additions and Change of Use

Barrier free parking spaces shall be provided for any addition to a *building* or *structure* or a change in *use*, except that, where a *building* or *structure* has less than the required *barrier free parking spaces* as of the effective date of this By-law, this By-law shall not be interpreted to require that the deficiency be made up in the event of an addition or change of *use* provided that any *barrier free parking space* required for such addition or change of *use* is provided.

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5.4.3 Barrier Free Parking Space Dimensions and Requirements

- a) The minimum dimension for a Type A *barrier free parking space* shall be 5.6 m in length, 3.4 m in width, and a vertical clearance of 2.59 m indoor and 2.75 m outdoor, in addition to an adjacent unobstructed pedestrian access aisle width of 1.5 m.
- b) The minimum dimension for a Type B *barrier free parking space* shall be 5.6 m in length, 2.8 m in width, and a vertical clearance of 2.0 m, in addition to an adjacent unobstructed pedestrian access aisle width of 1.5 m.

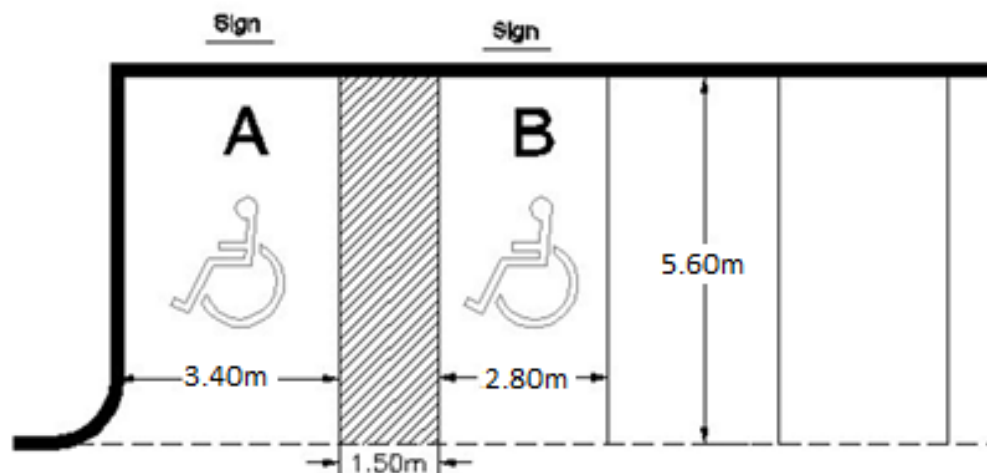


Illustration of Type A and Type B Barrier Free Parking Spaces

- c) The 1.5-m unobstructed pedestrian access aisle may be shared by two *abutting barrier free parking spaces* and must meet the following requirements:
 - i) the unobstructed pedestrian access aisle shall extend the full length of the *barrier free parking space*; and
 - ii) the unobstructed pedestrian access aisle shall be marked with high tonal contrast diagonal lines, to discourage parking in them, where the surface is asphalt, concrete or some other hard surface.

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- d) *Barrier free parking spaces* shall be designated with a painted accessibility insignia and a *sign*.
- e) *Barrier free parking spaces* shall be designated from the *parking spaces* located closest to the principal *building* entrance or entrances that are accessible from the *parking area*.
- f) The paths between the *barrier free parking spaces* and the *building(s)* principal entrance shall be accessible to persons with disabilities, such as being level with the *finished grade* through appropriate means such as ramps and depressed curbs, and comprise a hard surface such as asphalt, concrete or some other hard surface.

5.4.4 Minimum Loading Space Requirements

The minimum number of *loading spaces* shall be provided and maintained on a *lot* in accordance with [Table 5.5.1](#).

Table 5.5.1: Minimum Loading Space Requirements	
Use	Minimum Number of Required Loading Spaces
Residential Uses	
i) <i>Building</i> containing less than 30 <i>apartment dwelling units</i>	None
ii) <i>Building</i> containing 30 or more <i>apartment dwelling units</i>	1
Offices and Clinics	
i) Less than 2,000.0 m ² of <i>gross floor area</i>	None
ii) 2,000 m ² of <i>gross floor area</i> up to and including 10,000 m ² of <i>gross floor area</i>	1
iii) More than 10,000 m ² of <i>gross floor area</i>	2
Other Commercial, Institutional and Industrial Uses	
i) less than 500 m ²	None
ii) over 500 m ² up to and including 2,500 m ²	1

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Table 5.5.1: Minimum Loading Space Requirements

Use	Minimum Number of Required Loading Spaces
iii) over 2,500 m ² up to and including 10,000 m ²	2
iv) over 10,000 m ²	2, plus 1 additional space for each 10,000 m ² of total <i>net floor area</i> of part thereof in excess of 10,000 m ²

5.4.5 Calculation of Loading Spaces

5.5.2.1 Rounding

Where part of a *loading space* is required, such part shall be considered one *loading space* for the purpose of calculating the minimum total *loading space* requirements.

5.5.2.2 Multiple Uses on a Lot

Where a *building* or *structure* accommodates more than one type of *use*, other than a *shopping centre* or an *industrial mall*, as defined in this By-law, the *loading space* requirement for the whole *building* shall be the sum of the requirements for the separate parts of the *building* occupied by the separate *uses*.

5.5.2.3 Building Additions

Where a *building* or *structure* had insufficient number of *loading spaces* at the date of the passing of this By-law to comply with the requirements herein, this By-law shall not be construed to require that the deficiency be made up prior to the construction of any addition. No addition may be built and no change of *use* may occur, however, the effect of which would be an increase in that deficiency.

5.4.6 Loading Space Dimensions and Requirements

- A *loading space* shall have a minimum dimension of 3.5 m by 9.0 m and a minimum vertical clearance of 4.0 m.
- A *loading space* shall be unobstructed, and free of any *structures* and

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encroachments.

5.4.7 Location of Loading Spaces

The location of *loading spaces* shall be provided in accordance with the following:

- a) a *loading space* shall not be permitted in any required *setback*, a required *front yard* or required *exterior side yard*;
- b) a *loading space* shall not be permitted between the main wall of a *building* oriented toward a *front lot line* or *exterior side lot line* and the applicable *front lot line* or *exterior side lot line*;
- c) a *loading space* shall *abut* the *building* for which the *loading space* is provided; and
- d) no part of any *loading space* shall be located closer than 7.5 m to any *interior side lot line* or *rear lot line abutting* a Residential *Zone*, except if it is located entirely within a *structure*; and no closer than 1.0 m to any *interior side lot line* or *rear lot line abutting* any other *zone*.

5.4.8 Access to Loading Spaces

Access to *loading spaces* shall be provided by means of one or more unobstructed *driveways* which:

- a) have a minimum unobstructed width of at least 3.5 m, regardless of the direction of traffic flow;
- b) all *loading spaces* and access thereto, are contained within the *lot* on which such *loading spaces* are located and lead either to an *improved street* or to a *lane* not less than 6.0 m in width;
- c) vehicular access and manoeuvring to and from a *loading space* shall be accommodated on the *lot*;
- d) comply in all other respects with the requirements for *driveways* providing access to *parking areas* and spaces set out in *Section 5.0* (Parking and Loading Requirements).

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5.5 Bicycle Parking Requirements

5.5.1 Minimum Bicycle Parking Space Requirements

The minimum number of permanent *bicycle parking spaces* shall be provided and maintained on a *lot* in accordance with Table 5.6.1.

Table 5.6.1: Minimum Bicycle Parking Space Requirements	
Use	Minimum Number of Bicycle Parking Spaces
Residential Uses:	
<i>Apartment building</i>	0.25 spaces per <i>dwelling unit</i>
<i>Back-to-back townhouse dwelling</i>	0.25 spaces per <i>dwelling unit</i>
<i>Cluster townhouse dwelling</i>	0.25 spaces per <i>dwelling unit</i>
<i>Stacked townhouse dwelling</i>	0.25 spaces per <i>dwelling unit</i>
<i>Retirement Home</i>	0.25 spaces per required visitor <i>parking spaces</i>
Office and Commercial Uses:	
<i>Business Office, Professional Office or Clinic</i>	2.0 spaces plus 1.0 per 1,000 m ² of <i>gross floor area</i>
<i>Eat-in Restaurant, Take-Out Restaurant</i>	2.0 spaces plus 1.0 space per 500 m ² of <i>gross floor area</i>
<i>Inn</i>	0.25 spaces per <i>guest room</i>
<i>Retail Store, Shopping Centre, or any retail commercial use</i>	2.0 spaces plus 1.0 per 1,000 m ² of <i>gross floor area</i>
Institutional Uses:	
<i>School, Elementary</i>	1.0 space per classroom
<i>School, Secondary</i>	1.0 space per classroom
<i>School, Post-Secondary</i>	1.0 space per classroom
<i>School, Private</i>	1.0 space per classroom
<i>School, Commercial</i>	1.0 space per classroom
All other <i>institutional uses</i>	2 spaces plus 1.0 per 500 m ² of <i>gross floor area</i>
Industrial Uses:	
All <i>industrial uses</i>	2 spaces plus 0.25 spaces per 1,000 m ² of <i>gross floor area</i>

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5.5.2 Calculation of Bicycle Parking Spaces

5.6.2.1 Rounding

Where part of a *bicycle parking space* is required, such part shall be considered one *bicycle parking space* for the purpose of calculating the minimum total *bicycle parking space* requirements.

5.6.2.2 Multiple Uses on a Lot

Where a *building* or *structure* accommodates more than one type of *use*, as defined in this By-law, the *bicycle parking space* requirement for the whole *building* shall be the sum of the requirements for the individual *uses*.

5.6.2.3 Building Additions and Change of Use

Bicycle parking spaces shall be provided for any addition to a *building* or *structure* or a change in *use*, except that, where a *building* or *structure* has less than the required *bicycle parking spaces* as of the effective date of this By-law, this By-law shall not be interpreted to require that the deficiency be made up in the event of an addition or change of *use* provided that any bicycle parking required for such addition or change of *use* is provided.

5.5.3 Bicycle Parking Space Dimensions and Parking Area Requirements

- a) A *bicycle parking space* shall be an unobstructed space with a minimum dimension of 0.6 m wide by 1.8 m in length. A permanent bicycle rack shall be provided to enable a bicycle to be locked in place.
- b) A *bicycle parking space* shall be accessed by an unobstructed aisle with a minimum width of 1.5 m.
- c) A *bicycle parking space* shall be provided with convenient access to the principal *building* entrance and shall be located within 35 m of a principal *building* entrance and shall not occupy or impede any pedestrian access or *parking area*.
- d) Notwithstanding any other provision of this By-law, *bicycle parking spaces* shall be permitted in any *required yard*, provided they are located no closer

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than 0.6 m to any *lot line*, and shall not be located within a *visibility triangle*.

5.5.4 Provision of Additional Bicycle Parking Spaces

One required vehicle *parking space* (exclusive of *barrier free* and visitor *parking spaces*) may be reduced from the total required number of vehicle *parking spaces* on a *lot* for every 5 *bicycle parking spaces* provided in excess of the required number of *bicycle parking spaces*, provided the overall number of required *parking spaces* are not reduced by more than 5% of the total required *parking spaces*.

5.6 Central Business District Exemption

Notwithstanding any requirements of this By-law to the contrary, the following shall apply to the *Central Business District* as designated on Schedule "A":

- a) For any legally *existing building, structure* or *use* established on or before the effective date of this By-law, and provided there is no increase in the overall *gross floor area* on the *lot*, no *parking spaces, barrier free parking spaces, loading spaces, or bicycle parking spaces* shall be required.
- b) *Parking spaces* and *bicycle parking spaces* required by this By-law for non-residential *uses* shall not be required for a *lot* in the *Central Business District* if the City enters into an agreement with the landowner respecting the payment of cash-in-lieu for some or all of the required *parking spaces* or *bicycle parking spaces*, in accordance with Section 40 of the Planning Act.

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No land shall be *used*, no *buildings* or *structures* shall be erected and no *lot* shall be altered in the Residential *Zones* except in accordance with the applicable General Provisions ([Section 4.0](#)) and Parking and Loading Requirements ([Section 5.0](#)) and the following:

6.1 List of Applicable Zones

Residential First Density	R1
Residential Second Density	R2
Residential Third Density	R3
Residential Fourth Density	R4
Residential Fifth Density	R5
Mixed Use Residential	MUR

6.2 Permitted Uses

Uses permitted in the Residential *Zones* are denoted by the symbol "✓" in the column applicable to that *zone* and corresponding with the row for a specific permitted *use* in [Table 6.2](#), below. Where the letter "E" is identified following the symbol "✓", only legally *existing uses* shall be permitted.

Table 6.2: Permitted Uses in the Residential Zones

Uses	R1	R2	R3	R4	R5	MUR
Residential Uses:						
<i>apartment building</i>				✓ E	✓	
<i>cluster housing</i>				✓ (R4(2), R4(3), R4(4))		
<i>boarding house dwelling</i>		✓	✓			
<i>converted dwelling</i>		✓	✓			✓

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Table 6.2: Permitted Uses in the Residential Zones

Uses	R1	R2	R3	R4	R5	MUR
<i>duplex dwelling</i>		✓				✓ E
<i>dwelling unit</i>						✓
<i>group home</i>	✓	✓	✓			
<i>linked dwelling</i>		✓				
<i>quadruplex dwelling</i>			✓	✓ E		
<i>retirement home</i>					✓	✓
<i>semi-detached dwelling</i>		✓				
<i>single detached dwelling</i>	✓	✓	✓			✓ E
<i>street townhouse dwelling</i>				✓ (R4(1))		
<i>triplex dwelling</i>			✓			
Commercial Uses:						
<i>business office</i>						✓
<i>clinic</i>						✓
<i>commercial school</i>						✓
<i>day care centre</i>		✓	✓			✓
<i>hostel</i>						✓
<i>inn</i>						✓
<i>personal care establishment</i>						✓
<i>pet grooming establishment</i>						✓

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Table 6.2: Permitted Uses in the Residential Zones

Uses	R1	R2	R3	R4	R5	MUR
<i>professional office</i>						✓
<i>studio</i>						✓
Institutional Uses:						
<i>elementary school</i>		✓	✓			
<i>hospice</i>					✓	✓
<i>nursing home</i>				✓ E	✓	✓
<i>place of worship</i>		✓	✓			✓
<i>private school</i>						✓

6.3 Special Use Regulations

6.3.1 Residential First Density (R1) Zone

None

6.3.2 Residential Second Density (R2) Zone

6.3.2.1 Boarding House Dwelling

a) Maximum Number of *Guest Rooms* 4

6.3.2.2 Converted Dwelling

a) Maximum Number of *Dwelling Units* 2

6.3.3 Residential Third Density (R3) Zone

6.3.3.1 Boarding House Dwelling

a) Maximum Number of *Guest Rooms* 4

6.3.4 Residential Fourth Density (R4) Zone

6.3.4.1 Cluster housing may be in the form of semi-detached, single, townhouse, back-to-back and stacked dwellings.

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6.3.5 Residential Fifth Density (R5) Zone

None

6.3.6 Mixed Use Residential (MUR) Zone

6.3.6.1 Business Office, Clinic, Commercial School, Personal Care Establishment, Pet Grooming Establishment, Private School, Professional Office, Studio

A *business office, clinic, commercial school, personal care establishment, pet grooming establishment, private school, professional office* or *studio* shall:

- a) be restricted to an *existing dwelling* which shall contain at least 1 *dwelling unit*;
- b) not change the external character of the *dwelling* as a residence;
- c) not *use* the *front yard* or *exterior side yard* for parking, other than a *driveway*;
- d) be restricted to the *ground floor* only.

6.3.6.2 Inn

- a) Permitted *Buildings* *existing*

6.3.6.3 Hostel

- a) Permitted *Buildings* *existing*

6.3.6.4 Existing Single Detached Dwellings

The alteration of *existing single detached dwellings* and the erection or alteration of *buildings accessory* thereto shall be permitted in accordance with the regulations of the applicable Residential *Zone*.

6.4 General Use Regulations

No person shall within any Residential *Zone use* or permit the *use* of any *lot* or *erect*, alter or *use* any *building* or *structure* except in accordance with the *zone* standards in Tables 6.4.1 – 6.4.5 below. Any numbers in parentheses following the particular

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regulation, *zone* heading, or applicable standard indicates that one or more additional regulations apply to *buildings* and *structures* in the applicable *zone*. These additional regulations are listed below each of the Regulations Tables.

6.4.1 Residential First Density (R1) Zone

Table 6.4.1: Regulations in the Residential First Density (R1) Zone

Zone Variation Standard ①	R1(1)	R1(2)	R1(3)	R1(4)	R1(5)
<i>Lot Area: Interior lot</i>	450 m ²	600 m ²	450 m ²	360 m ²	300 m ²
<i>Lot Area: Corner lot</i>	550 m ²	750 m ²	600 m ²	540 m ²	450 m ²
<i>Lot Frontage: Interior lot</i>	18 m	20 m	15 m	12 m	10 m
<i>Lot Frontage: Corner lot</i>	22 m	25 m	20 m	18 m	15 m
<i>Lot Depth</i>	25 m	30 m	30 m	30 m	25 m
<i>Front Yard Depth</i>	4.5 m ②③⑥	6.0 m ②③⑥	6.0 m ②③⑥	4.5 m ②③⑥	4.5 m ②③⑥
<i>Exterior Side Yard Width</i>	4.5 m ②③	4.5 m ②③	4.5 m ②③	4.5 m ②③	4.5 m ②③
<i>Side Yard Width</i>	1.0 m⑤	1.0 m⑤	1.0 m⑤	1.0 m⑤	1.0 m⑤
<i>Aggregate Side Yard Width</i>	2.0 m	3.5 m	3.0 m	3.0 m	2.0 m
<i>Rear Yard Depth</i>	6.0 m	7.5 m	7.5 m	7.5 m	6.0 m
Maximum <i>Lot Coverage Main Building</i>	40%	35%	35%	40%	40%
Maximum <i>Lot Coverage Main Building and Accessory Buildings</i>	45%	40%	40%	45%	45%
Maximum <i>Height</i>	10 m	10 m	10 m	10 m	10 m
Minimum <i>Landscaped Open Space</i>	30%	40%	35%	30%	30%

Additional Regulations for Table 6.4.1

1. Unless specified otherwise, regulations expressed herein are minimums.

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2. Provided that no part of any attached or detached *garage* shall be erected less than 6.0 m to the *front lot line* or an *exterior side lot line*, where the *garage* is oriented to said *lot line*.
3. Any attached or detached *garage* shall not exceed sixty (60) per cent of the width of the *elevation* facing the *front lot line* or an *exterior side lot line*, where the *garage* is oriented to said *lot line* of a *dwelling* erected on the *lot*, and provided that the *front yard depth* or *exterior side yard* depth for a *dwelling* shall not exceed 9.0 m.
4. A *garage* shall not project more than 1.0 m beyond the *building elevation* facing the *front lot line* or the *exterior side lot line*.
5. Plus an additional 0.5 m for each *storey* of a *dwelling* in excess of 1 *storey*, to a maximum of 2.0 m. When determining which *side yard* requirement should apply, the maximum *height* of that part of the *dwelling* nearest the *side lot line* shall prevail.
6. No *building* or *structure* shall be erected closer to a *street* than as set out in the applicable *zone* except for those instances listed in the Table 4.26.2 or as set out in 4.26.4.

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6.4.2 Residential Second Density (R2) Zone

Table 6.4.2: Regulations in the Residential Second Density (R2) Zone

Zone Variation Standard ①	R2(1) ⑨	R2(2) ⑨
<i>Lot Area: Interior lot:</i>		
<i>Single detached dwelling</i>	360 m ²	300 m ²
<i>Semi-detached dwelling ②, Linked dwelling ②</i>	275 m ²	250 m ²
<i>Duplex dwelling</i>	450 m ²	375 m ²
<i>Converted dwelling</i>	425 m ²	350 m ²
<i>Non-residential uses</i>	500 m ²	500 m ²
<i>Lot Area: Corner lot</i>		
<i>Single detached dwelling</i>	540 m ²	450 m ²
<i>Semi-detached dwelling ②, Linked dwelling ②</i>	450 m ²	450 m ²
<i>Duplex dwelling</i>	600 m ²	540 m ²
<i>Converted dwelling</i>	540 m ²	450 m ²
<i>Non-residential uses</i>	540 m ²	540 m ²
<i>Lot Frontage: Interior lot:</i>		
<i>Single detached dwelling</i>	12 m	10 m
<i>Semi-detached dwelling ②, Linked dwelling ②</i>	9 m	8 m
<i>Duplex dwelling</i>	15 m	14 m
<i>Converted dwelling</i>	12 m	10 m
<i>Non-residential uses</i>	15 m	15 m
<i>Lot Frontage: Corner lot:</i>		
<i>Single detached dwelling</i>	18 m	15 m
<i>Semi-detached dwelling ②, Linked dwelling ②</i>	14 m	12 m
<i>Duplex dwelling</i>	20 m	18 m
<i>Converted dwelling</i>	18 m	15 m
<i>Non-residential uses</i>	18 m	18 m
<i>Lot Depth</i>	30 m	25 m
<i>Front Yard Depth</i>	6.0 m③④⑤⑩	4.5 m③④⑤⑩

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Table 6.4.2: Regulations in the Residential Second Density (R2) Zone

Zone Variation Standard ①	R2(1) ⑨	R2(2) ⑨
<i>Exterior Side Yard</i> Width	4.5 m ③④⑤	4.5 m ③④⑤
<i>Side Yard Width:</i>		
<i>Single detached dwelling</i>	1 m ⑥	1 m ⑥
<i>Duplex dwelling</i>	1 m ⑥	1 m ⑥
<i>Semi-detached dwelling, Linked dwelling</i>	2.5 m ⑦	1.5 m ⑦
<i>Converted dwelling</i>	1 m ⑥	1 m ⑥
Non-residential <i>uses</i>	2.5 m ⑧	2.5 m ⑧
<i>Aggregate Side Yard Width:</i>		
<i>Single detached dwelling</i>	3 m	2 m
<i>Duplex dwelling</i>	3 m	2 m
<i>Semi-detached dwelling, Linked dwelling</i>	5 m ⑦	3 m ⑦
<i>Converted dwelling</i>	3 m	2 m
Non-residential <i>uses</i>	5 m	5 m
<i>Rear Yard Depth</i>	7.5 m	6.0 m
Maximum <i>Lot Coverage Main Building</i>	40%	40%
Maximum <i>Lot Coverage Main Building and Accessory Buildings</i>	45%	45%
Maximum <i>Height</i>	10 m	10 m
Minimum <i>Landscaped Open Space</i>	30%	30%

Additional Regulations for Table 6.4.2

1. Unless specified otherwise, regulations expressed herein are minimums.
2. Standards prescribed are per *dwelling unit*.
3. Provided that no part of any attached or detached *garage* shall be erected less than 6 m to the *front lot line* or an *exterior side lot line*, where the *garage* is oriented to said *lot line*.

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4. Any attached or detached *garage* shall not exceed sixty (60) percent of the width of the *elevation* facing the *front lot line* or an *exterior side lot line*, where the *garage* is oriented to said *lot line* of a *dwelling* on the *lot* and provided that the *front yard depth* or *exterior side yard depth* for a *dwelling* shall not exceed 9 m.
5. A *garage* shall not project more than 1.0 m beyond the *building elevation* facing the *front lot line* or *exterior side lot line*.
6. Plus, an additional 0.5 m for each *storey* of a *dwelling* in excess of 1 *storey*, to a maximum of 2.0 m. When determining which *side yard* requirement should apply, the maximum *height* of that part of the *dwelling* nearest the *side lot line* shall prevail.
7. Except that:
 - i) no *side yard width* shall be required along the *side lot line* where the individual *dwelling units* of a *semi-detached dwelling* are attached together by a common wall extending along the *side lot line* separating such *lots*, provided that any wall which does not constitute part of such common wall or a direct extension thereof shall be set back not less than 1.5 m from the *side lot line* separating such *lots*; and
 - ii) where a *private garage* is attached to the *dwelling*, the *side yard width* on one side of such *dwelling* shall be 1.5 m.
8. Or one half the *height* of the *building*, whichever is the greater.
9. General *use* regulations for lands with an MUR compound *zone* shall be in accordance with the applicable Residential *Zone*.
10. No *building* or *structure* shall be erected closer to a *street* than as set out in the applicable *zone* except for those instances listed in the Table 4.26.2 or as set out in 4.26.4.

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6.4.3 Residential Third Density (R3) Zone

Table 6.4.3: Regulations in Residential Third Density (R3) Zone

Zone Variation Standard ①	R3 ④
<i>Lot Area:</i>	
<i>Single detached dwelling</i>	360 m ²
2 unit <i>Converted dwelling</i>	425 m ²
<i>Boarding house dwelling,</i> 3 unit <i>converted dwelling,</i> <i>Triplex dwelling</i>	450 m ²
4 unit <i>converted dwelling,</i> <i>Quadruplex dwelling</i>	550 m ² , 690 m ² for a <i>corner lot</i>
Non-residential <i>uses</i>	540 m ²
<i>Lot Frontage: Interior lot</i>	
<i>Single detached dwelling</i>	12 m
2 unit <i>Converted dwelling</i>	14 m
<i>Boarding house dwelling,</i> 3 unit <i>converted dwelling,</i> <i>Triplex dwelling</i>	15 m
4 unit <i>converted dwelling,</i> <i>Quadruplex dwelling</i>	18 m
Non-residential <i>uses</i>	18 m
<i>Lot Frontage: Corner lot</i>	
<i>Single detached dwelling</i>	20 m
2 unit <i>Converted dwelling</i>	20 m
<i>Boarding house dwelling,</i> 3 unit <i>converted dwelling,</i> <i>Triplex dwelling</i>	20 m
4 unit <i>converted dwelling,</i> <i>Quadruplex dwelling</i>	22 m
Non-residential <i>uses</i>	22 m
<i>Lot Depth</i>	30 m
<i>Front Yard Depth</i>	7.5 m ⑤⑥⑦⑧

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Table 6.4.3: Regulations in Residential Third Density (R3) Zone

Zone Variation Standard ①	R3 ④
<i>Exterior Side Yard Width</i>	4.5m ⑤⑥⑦
<i>Side Yard Width:</i>	
<i>Single detached dwelling</i>	1.0 m ②
2 unit <i>Converted dwelling</i>	1.0 m ②
<i>Boarding house dwelling,</i> 3 unit <i>converted dwelling,</i> <i>Triplex dwelling</i>	1.0 m ②
4 unit <i>converted dwelling,</i> <i>Quadruplex dwelling</i>	1.0 m ②
Non-residential <i>uses</i>	2.5 m ③
<i>Aggregate Side Yard Width:</i>	
<i>Single detached dwelling</i>	3 m
2 unit <i>Converted dwelling</i>	3 m
<i>Boarding house dwelling,</i> 3 unit <i>converted dwelling,</i> <i>Triplex dwelling</i>	3 m
4 unit <i>converted dwelling,</i> <i>Quadruplex dwelling</i>	4 m
Non-residential <i>uses</i>	-
<i>Rear Yard Depth</i>	7.5 m
Maximum <i>Lot Coverage Main Building</i>	40%
Maximum <i>Lot Coverage Main Building</i> and <i>Accessory Buildings</i>	45%
Maximum <i>Height</i>	12 m
Maximum Number of <i>Dwelling Units:</i>	
<i>Single detached dwelling</i>	-
2 unit <i>Converted dwelling</i>	2
<i>Boarding house dwelling,</i> 3 unit <i>converted dwelling,</i> <i>Triplex dwelling</i>	3

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Table 6.4.3: Regulations in Residential Third Density (R3) Zone

Zone Variation Standard ①	R3 ④
4 unit <i>converted dwelling</i> , <i>Quadruplex dwelling</i>	4
Non-residential <i>uses</i>	-
Minimum <i>Landscaped Open Space</i>	30%

Additional Regulations for Table 6.4.3

1. Unless specified otherwise, regulations expressed herein are minimums.
2. Plus, an additional 0.5 m for each *storey* of a *dwelling* in excess of 1 *storey*, to a maximum of 2.0 m. When determining which *side yard* requirement should apply, the maximum *height* of that part of the *dwelling* nearest the *side lot line* shall prevail.

Except that no *side yard width* shall be required on the side where two pairs of *quadruplex dwelling* units on *abutting* lots are attached together by a common wall extending along the *side lot line* separating such *lots*, provided that any wall which does not constitute part of such common wall or a direct extension thereof shall be set back not less than 1.5 m from the *side lot line* separating such *lots*.

3. Or one half the *height* of the *building*, whichever is the greater.
4. General *use* regulations for lands with an MUR compound *zone* shall be in accordance with the applicable Residential *Zone*.
5. Provided that no part of any attached or detached *garage* shall be erected less than 6.0 m to the *front lot line* or *exterior side lot line*, where the *garage* is oriented to said *lot line*.
6. Any attached or detached *garage* shall not exceed sixty (60) per cent of the width of the *elevation* facing the *front lot line* or an *exterior side lot line*, where

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the *garage* is oriented to said lot line of a *dwelling* erected on the *lot*, and provided that the *front yard depth* or *exterior side yard* depth for a *dwelling* shall not exceed 9.0 m.

7. A *garage* shall not project more than 1.0 m beyond the *building elevation* facing the *front lot line* or the *exterior side lot line*.
8. No *building* or *structure* shall be erected closer to a *street* than as set out in the applicable *zone* except for those instances listed in the Table 4.26.2 or as set out in 4.26.4.

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6.4.4 Residential Fourth Density (R4) Zone

Table 6.4.4: Regulations in the Residential Fourth Density (R4) Zones

Zone Variation Standard ①	R4(1) Street Townhouse (Per-unit)	R4(2) Cluster Housing (Per block)	R4(3) Cluster Housing (Per block)	R4(4) Cluster Housing (Per block)
<i>Lot Area</i> (per <i>dwelling unit</i>):	180 m ²	800 m ²	800 m ²	800 m ²
<i>Lot Frontage</i> :	6.0 m ⑦	22.0 m	22.0 m	22.0 m
<i>Lot Depth</i> :	30.0 m	30.0 m	30.0 m	30.0 m
<i>Front Yard Depth</i> :	6.0 m ④⑤⑥	6.0 m ④⑤⑥	6.0 m ④⑤⑥	6.0 m ④⑤⑥
<i>Exterior Side Yard Width</i> :	6.0 m ④⑤⑥	6.0 m ④⑤⑥	6.0 m ④⑤⑥	6.0 m ④⑤⑥
<i>Side Yard Width</i> :	2.5 m ②	3.0m ⑧	3.0 m ⑧	3.0 m ⑧
<i>Rear Yard Depth</i> :	6.0 m	6.0 m	6.0 m	6.0 m
Maximum <i>Lot Coverage</i> :	40%	40%	40%	40%
Maximum <i>Lot Coverage Main Building and Accessory Buildings</i>	45%	45%	45%	45%
Maximum <i>Height</i> :	12.0 m	10.0 m	12.0 m	12.0 m
Minimum <i>Landscaped Open Space</i> :	30%	30%	30%	30%
Minimum <i>Density</i>	25 upnh ③	20 upnh ③	25 upnh ③	25 upnh ③
Maximum <i>Density</i>	35 upnh ③	35 upnh ③	45 upnh ③	65 upnh ③

Additional Regulations for Table 6.4.4

1. Unless specified otherwise, regulations expressed herein are minimums.
2. Except that no *side yard width* shall be required on the side where individual *dwelling units* are attached together by a common wall, provided that any wall

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which does not constitute part of such common wall or a direct extension thereof shall be set back not less than 1.5 m from the *side lot line* separating such lots.

3. Upnh means units per net hectare.
4. Provided that no part of any attached or detached *garage* shall be erected less than 6.0 m to the *front lot line* or an *exterior side lot line*, where the *garage* is oriented to said *lot line*.
5. Any attached or detached *garage* shall not exceed sixty (60) percent of the width of the elevation facing the *front lot line* or an *exterior side lot line* where the *garage* is oriented to said *lot line* of a *dwelling* erected on the *lot*, and provided that the *front yard depth* or *exterior side yard* depth for a *dwelling* shall not exceed 9 m.
6. A *garage* shall not project more than 1.0 m beyond the *building elevation* of a *dwelling* erected on the *lot* facing the *front lot line* or the *exterior side lot line*.
7. An additional 6.0 m *lot frontage* is required for *corner lots*.
8. Where the wall contains windows or doors to habitable rooms the minimum *interior side yard* setback shall be 6.0 m.

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6.4.5 Residential Fifth Density (R5) Zone

Table 6.4.5: Regulations in the Residential Fifth Density (R5)

Zone Variation Standard ①	R5(1)	R5(2)	R5(3)
<i>Lot Area:</i>	750 m ²	1000 m ²	1000 m ²
<i>Lot Frontage: Interior lot</i>	15.0 m	25.0 m	25.0 m
<i>Lot Frontage: Corner lot</i>	20.0 m	30.0 m	30.0 m
<i>Lot Depth:</i>	30.0 m	30.0 m	30.0 m
<i>Front Yard Depth:</i>	7.5 m	10 m	10 m
<i>Exterior Side Yard Width:</i>	7.5 m	10 m	10 m
<i>Side Yard Width:</i>	3.0 m ②	5.0 m ②	5.0 m ②
<i>Rear Yard Depth:</i>	6.0 m	6.0 m	6.0 m
Maximum <i>Lot Coverage:</i>	35%	30%	30%
Minimum <i>Landscaped Open Space:</i>	30%	35%	35%
Maximum <i>Height:</i>	12.0 m	15.0 m	22.0 m
Minimum <i>Height:</i>	-	-	9.0 m
Maximum <i>Density:</i>	55 upnh③	65 upnh③	100 upnh③
Minimum <i>Density:</i>	25 upnh③	35 upnh③	65 upnh③

Additional Regulations for Table 6.4.5

1. Unless specified otherwise, regulations expressed herein are minimums.
2. Or one-half the *height* of the *building* whichever is the greater.
3. Upnh means units per net hectare.
4. Any attached *garage* shall not exceed sixty (60) percent of the width of the *elevation* facing the *front lot line* or an *exterior side lot line*, where the *garage* is oriented to said *lot line* of a *dwelling* on the *lot* and provided that the *front yard depth* or *exterior side yard* depth for a *dwelling* shall not exceed 9 m.
5. A *garage* shall not project more than 1.0 m beyond the *building elevation* facing the *front lot line* or *exterior side lot line*.

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No land shall be *used*, no *buildings* or *structures* shall be erected and no *lot* shall be altered in the Commercial and Mixed *Use Zone* except in accordance with the applicable General Provisions ([Section 4.0](#)) and Parking and Loading Requirements ([Section 5.0](#)) and the following:

7.1 List of Applicable Zones

Neighbourhood Commercial	C1
Highway Commercial	C2
Central Commercial	C3
Shopping Centre Commercial	C4
Corridor Commercial	C5

7.2 Permitted Uses

Uses permitted in the Commercial *Zones* are denoted by the symbol "✓" in the column applicable to that *zone* and corresponding with the row for a specific permitted *use* in [Table 7.2](#), below. Where the letter "E" is identified following the symbol "✓", only legally *existing uses* shall be permitted.

Table 7.2: Permitted Uses in the Commercial Zones					
Uses	C1	C2	C3	C4	C5
Residential Uses:					
<i>apartment building</i>			✓		
<i>boarding house dwelling</i>		✓	✓		
<i>converted dwelling</i>			✓		
<i>dwelling unit</i>	✓	✓	✓		✓
<i>group home</i>			✓		
Commercial Uses:					
<i>amusement arcade</i>		✓E		✓	
<i>amusement park</i>			✓		
<i>auditorium</i>		✓	✓		
<i>brew-pub</i>		✓	✓		

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Table 7.2: Permitted Uses in the Commercial Zones

Uses	C1	C2	C3	C4	C5
<i>brew your own establishment</i>		✓	✓	✓	✓
<i>business office</i>		✓	✓	✓	✓
<i>car wash</i>		✓		✓	
<i>clinic</i>		✓	✓	✓	✓
<i>commercial school</i>		✓	✓	✓	✓
<i>convenience store</i>	✓	✓	✓	✓	✓
<i>data centre</i>			✓		
<i>day care centre</i>		✓	✓	✓	✓
<i>dry cleaning drop off establishment</i>	✓	✓	✓	✓	✓
<i>dry cleaning establishment</i>	✓	✓	✓		
<i>financial institution</i>		✓	✓	✓	
<i>fitness club</i>		✓	✓	✓	
<i>funeral home</i>		✓	✓		
<i>garden centre</i>		✓	✓ E	✓	
<i>gas bar</i>	✓	✓	✓ E	✓	✓
<i>hostel</i>			✓		
<i>hotel</i>		✓	✓	✓	
<i>inn</i>			✓		
<i>large merchandise outlet</i>		✓	✓ E	✓	
<i>laundromat</i>	✓	✓	✓		✓
<i>merchandise rental shop</i>		✓	✓	✓	✓
<i>merchandise service shop</i>		✓	✓	✓	
<i>motor vehicle repair shop</i>		✓		✓	✓

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COMMERCIAL ZONES

Table 7.2: Permitted Uses in the Commercial Zones

Uses	C1	C2	C3	C4	C5
<i>motor vehicle sales or rental establishment</i>		✓	✓E		
<i>motor vehicle service station</i>	✓	✓	✓E	✓	✓
<i>parking lot, commercial</i>			✓		
<i>personal care establishment</i>	✓	✓	✓	✓	✓
<i>personal service establishment</i>	✓	✓	✓	✓	✓
<i>pet grooming establishment</i>	✓	✓	✓	✓	✓
<i>private club</i>		✓	✓	✓	
<i>professional office</i>		✓	✓	✓	✓
<i>recreational entertainment establishment</i>		✓	✓	✓	
<i>recreational vehicle sales or rental establishment</i>		✓			
<i>restaurant, drive-in</i>		✓			
<i>restaurant, eat-in</i>	✓	✓	✓	✓	✓
<i>restaurant, take-out</i>	✓	✓	✓	✓	✓
<i>retail store</i>		✓	✓	✓	
<i>service trade</i>		✓	✓	✓	✓
<i>shopping centre</i>				✓	
<i>studio</i>			✓	✓	✓
<i>supermarket</i>		✓	✓	✓	
<i>tavern</i>		✓	✓	✓	✓
<i>taxi dispatch establishment</i>		✓	✓	✓	

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Table 7.2: Permitted Uses in the Commercial Zones

Uses	C1	C2	C3	C4	C5
<i>theatre</i>		✓	✓	✓	
<i>veterinarian clinic</i>		✓	✓	✓	
<i>video rental establishment</i>	✓				
Industrial Uses:					
<i>self-storage establishment</i>		✓			✓
<i>warehouse</i>			✓E		
Institutional Uses:					
<i>place of worship</i>		✓	✓		
<i>private school</i>			✓		
<i>school, elementary</i>			✓		
<i>school, secondary</i>			✓		

7.3 Special Use Regulations

7.3.1 Neighbourhood Commercial (C1) Zone

7.3.1.1 Convenience Stores, Take-out or Eat-in Restaurants

- a) Maximum Number of Amusement Devices 3

7.3.1.2 Dwelling Units

Dwelling units shall be connected to and form an integral part of a *main building* and located above the *first storey*.

- a) Maximum Number of Units 2

7.3.2 Highway Commercial (C2) Zone

7.3.2.1 Dwelling Units

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Dwelling units shall be located in a *building* containing a permitted non-residential *use*, and located above the *first storey*. A maximum of one (1) *dwelling unit* is permitted above the *first storey* in a *building* containing an automotive *use*.

7.3.3 Central Commercial (C3) Zone

7.3.3.1 *Converted Dwelling*

An *existing* dwelling or *building* containing a *dwelling unit* may be converted to provide additional *dwelling units* or other *uses* permitted in the C3 *Zone*, provided that no additional *dwelling units* or *dwelling unit area* is added to the ground or lower *storey* therein.

7.3.3.2 Dwelling Units

- a) *Dwelling units* other than in a *converted dwelling* shall be connected to and form an integral part of a *main building* and located above the *first storey* which *storey* shall be designed, *used* or intended for a commercial *use*.
- b) Notwithstanding 7.3.3.2 a) *dwelling units* may be permitted on the *first storey* or below in an *apartment building* in the C3 zone outside of the *Central Business District* (CBD) as shown on Schedule "A".

7.3.4 Shopping Centre Commercial (C4) Zone

None

7.3.5 Corridor Commercial (C5) Zone

None

7.3.6 Gas Bars

A *gas bar* shall only be permitted in the C4 *Zone* as an *accessory use* to a *shopping centre*.

A pump island, kiosk, and/or canopy *accessory* to a *gas bar* shall be permitted in any part of a required *front yard* or *side yard* provided:

- a) the minimum distance between any portion of a gasoline pump island or any kiosk and a *lot line* or *widened street* line shall be 5.0 m;

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- b) the minimum distance between any column supporting a canopy and a *lot line* or *widened street* line shall be 3.0 m;
- c) in the case of a *corner lot*, no portion of any gasoline pump island or kiosk shall be located closer than 3.0 m to a *visibility triangle*; and
- d) no part of any canopy shall be located in a required *visibility triangle*.

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7.4 General Use Regulations

No person shall within any Commercial and Mixed *Use Zone use* or permit the *use* of any *lot* or *erect*, alter or *use* any *building* or *structure* except in accordance with the *zone* standards in Table 7.4 below. Any numbers in parentheses following the particular regulation, *zone* heading, or applicable standard indicates that one or more additional regulations apply to *buildings* and *structures* in the applicable *zone*. These additional regulations are listed below Regulations Table 7.4.

Table 7.4: Regulations in the Commercial Zones

Zone Variation Standard ①	C1	C2	C3	C4	C5
<i>Lot Area:</i>	500 m ²	1000 m ²	<i>existing</i>	1500 m ²	500 m ²
<i>Lot Frontage: Interior lot</i>	15 m	30 m	<i>existing</i>	45 m	15 m
<i>Lot Frontage: Corner lot</i>	30 m	30 m	<i>existing</i>	45 m	18 m
<i>Lot Depth:</i>	30 m	30 m	-	-	30 m
Minimum <i>Front and Exterior Side Yard Setback</i>	7.5 m	7.5 m	-	7.5 m	7.5 m
Maximum <i>Front and Exterior Side Yard Setback:</i>	-	-	3.0 m	-	-
<i>Side Yard Width:</i>	2.5 m②				1.5 m
<i>abutting</i> a residential or institutional <i>zone</i>		5.0 m②		15.0 m	
<i>abutting</i> any other <i>zone</i>		1.0 m			
where an <i>interior side yard abuts</i> any <i>zone</i> other than a C3 <i>zone</i>			2.5 m		

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Table 7.4: Regulations in the Commercial Zones

Zone Variation Standard ①	C1	C2	C3	C4	C5
where an <i>interior side yard abuts</i> a C3 <i>zone</i>			0.0 m		
where an <i>interior side yard abuts</i> any <i>zone</i> other than a C4 <i>zone</i>				one-half the <i>height</i> of the <i>building</i>	
<i>Rear Yard Depth:</i>		5.0 m②			6.0 m
where a <i>rear yard abuts</i> a residential or institutional <i>zone</i>				15.0 m	
where a <i>building</i> contains a <i>dwelling unit</i>	6.0 m				
all other cases	2.5 m②				
where a <i>rear yard abuts</i> any <i>zone</i> other than a C3 <i>zone</i>			2.5 m		
where a rear <i>abuts</i> a C3 <i>zone</i>			0.0 m		
where a <i>rear yard abuts</i> any <i>zone</i> other than a C4 <i>zone</i>				one-half the <i>height</i> of the <i>building</i>	
Maximum <i>Lot Coverage:</i>	40%	35%		35%	40%
Maximum <i>Height:</i>	10.0 m	10.0 m	15.0 m	15.0 m	10.0 m
Maximum <i>Ground Floor Area:</i>	500 m ²	-	-	-	500 m ²
Groundfloor Floor-to-Ceiling <i>Height:</i>	-	-	4.5③	-	-

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Table 7.4: Regulations in the Commercial Zones

Zone Variation Standard ①	C1	C2	C3	C4	C5
Minimum <i>Gross Floor Area</i> (<i>Shopping Centre</i>):	-	-	-	10,000 m ²	-
Maximum <i>Gross Floor Area</i> of a Permitted <i>Use</i> :	300 m ²	-	-	-	500 m ²
Maximum Number of <i>Buildings</i> per <i>Lot</i> :	1	-	-	-	1
Minimum <i>Landscaped Open Space</i> :	30%	15%	-	15%	30%

Additional Regulations for Table 7.4

1. Unless specified otherwise, regulations expressed herein are minimums.
2. Or one-half the *height* of the *building* whichever is the greater.
3. For mixed-use *buildings* and *apartment buildings*.

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GRAND TRUNK ANCHOR DISTRICT ZONE

SECTION 8 GRAND TRUNK ANCHOR DISTRICT ZONE

The Grand Trunk Anchor District zone recognizes the unique qualities of the Grand Trunk site and fulfils the need for a tailored framework which will facilitate a positive transformation of the isolated and largely disused site on the edge of the Downtown Core. The zone is encouraging of reinvestment in the Downtown Core, seeking to facilitate and appropriately regulate a convergence of education, community, entrepreneurship, and innovating uses to strengthen and diversify the Stratford economy, providing housing, services and amenities for both residents and visitors.

Stratford Official Plan Amendment 21 (OPA 21) was adopted by the City on December 14, 2014 and approved by the Ministry of Municipal Affairs and Housing on July 21, 2016. Except as OPA 21 applied to the Grand Trunk Anchor District, as confirmed by the Local Planning Appeal Tribunal (LPAT) in its Decision/Order of February 2, 2017 (Case no. P 160830) it came into effect on July 21, 2016. By Decision and Order of LPAT dated March 25, 2019 (Case No. Pl 160830), OPA 21 as modified by LPAT came into effect on that day as it applies to the Grand Trunk Anchor District.

No land shall be *used*, no *buildings* or *structures* shall be erected and no *lot* shall be altered in the Grand Trunk Anchor District *Zone* except in accordance with the applicable General Provisions ([Section 4.0](#)) and Parking and Loading Requirements ([Section 5.0](#)) and the following:

8.1 List of Applicable Zones

Grand Trunk Anchor District	AD
-----------------------------	----

8.2 Permitted Uses

Uses permitted in the Grand Trunk Anchor District *Zone* are denoted by the symbol "✓" in the column applicable to that *zone* and corresponding with the row for a specific permitted *use* in [Table 8.2](#), below.

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GRAND TRUNK ANCHOR DISTRICT ZONE

Table 8.2: Permitted Uses in the Grand Trunk Anchor District Zone

Uses	AD
Residential Uses:	✓
<i>apartment building</i>	✓
<i>retirement home</i>	✓
Commercial Uses:	✓
<i>art gallery</i>	✓
<i>brew-pub</i>	✓
<i>business office</i>	✓
<i>clinic</i>	✓
<i>commercial school</i>	✓
<i>data centre</i>	✓
<i>day care centre</i>	✓
<i>financial institution</i>	✓
<i>fitness club</i>	✓
<i>hotel</i>	✓
<i>parking lot, commercial</i>	✓
<i>performing arts studio</i>	✓
<i>personal care establishment</i>	✓
<i>professional office</i>	✓
<i>recreational entertainment establishment</i>	✓
<i>restaurant</i>	✓
<i>retail store</i>	✓
<i>short term rental accommodation</i>	✓
<i>supermarket</i>	✓
<i>theatre</i>	✓
<i>transit centre</i>	✓
Industrial Uses:	✓
<i>industrial use</i>	✓

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GRAND TRUNK ANCHOR DISTRICT ZONE

Table 8.2: Permitted Uses in the Grand Trunk Anchor District Zone

Uses	AD
<i>warehouse</i>	✓
Institutional Uses:	✓
<i>auditorium</i>	✓
community facility	✓
<i>cultural institution</i>	✓
<i>hospice</i>	✓
<i>hospital</i>	✓
<i>innovation incubator</i>	✓
<i>institutional use</i>	✓
<i>library</i>	✓
<i>nursing home</i>	✓
<i>offices, federal, provincial or municipal</i>	✓
<i>park</i>	✓
<i>place of worship</i>	✓
<i>public use</i>	✓
<i>recreational park</i>	✓
<i>school, elementary</i>	✓
<i>school, secondary</i>	✓
<i>school, post- secondary</i>	✓
<i>school, private</i>	✓

Additional Regulations for Table 8.2

None

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GRAND TRUNK ANCHOR DISTRICT ZONE

8.3 Special Use Regulations

8.3.1 Loading Spaces

Loading spaces shall not face a *public street* unless screened from view by a 4.2 m solid barrier.

8.3.2 Parking Rates

The minimum number of *parking spaces* for *motor vehicles* shall be provided and maintained in the Grand Trunk Anchor District Zone in accordance with [Table 5.1](#), except if an alternative minimum number of *parking spaces* is identified through a detailed Transportation Impact Assessment and agreed by the Director of Infrastructure and Development Services.

8.3.3 Shared Parking

Where two or more *uses* listed in [Table 8.2](#) are permitted and located in the Grand Trunk Anchor District Zone, *parking spaces* may be shared between *uses*. If *parking spaces* are proposed to be shared, a detailed Transportation Impact Assessment must identify the peak parking occupancy rates for each use and determine an appropriate method of sharing. This method of sharing is to be agreed by the Director of Infrastructure and Development Services.

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GRAND TRUNK ANCHOR DISTRICT ZONE

8.4 General Use Regulations

No person shall within any Grand Trunk Anchor District *Zone use* or permit the *use* of any *lot* or *erect*, alter or *use* any *building* or *structure* except in accordance with the *zone* standards in Table 8.4 below. Any numbers in parentheses following the particular regulation, *zone* heading, or applicable standard indicates that one or more additional regulations apply to *buildings* and *structures* in the applicable *zone*.

Table 8.4: Regulations in the Grand Trunk Anchor District Zone	
Zone Variation Standard ①②	AD
<i>Setback</i> Abutting a Public <i>Street</i> :	0 m
<i>Setback</i> Abutting Any New <i>Streets</i> :	3.0 m
Maximum <i>Height</i> :	22.0 m
Stepbacks (Above Four Levels)	1.0 m

Additional Regulations for Table 8.4

1. Unless specified otherwise, regulations expressed herein are minimums.
2. The regulations within Table 8.4 shall not apply to the existing Grand Trunk *building* and any additions or alterations to the existing Grand Trunk *building*.

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INDUSTRIAL ZONES

SECTION 9 INDUSTRIAL ZONES

No land shall be *used*, no *buildings* or *structures* shall be erected and no *lot* shall be altered in the Industrial *Zones* except in accordance with the applicable General Provisions (*Section 4.0*) and Parking and Loading Requirements (*Section 5.0*) and the following:

9.1 List of Applicable Zones

Prime Industrial	I1
General Industrial	I2
Secondary Industrial	I3
Factory District	I4

9.2 Permitted Uses

Uses permitted in the Industrial *Zones* are denoted by the symbol "✓" in the column applicable to that *zone* and corresponding with the row for a specific permitted *use* in *Table 9.2*, below. Where the letter "E" is identified following the symbol "✓", only legally *existing uses* shall be permitted.

Table 9.2: Permitted Uses in the Industrial Zones				
Uses	I1	I2	I3	I4
<i>adult entertainment establishment</i>		✓		
<i>agricultural equipment sales or rental establishment</i>		✓		
<i>amusement arcade establishment</i>			✓	
<i>animal shelter</i>			✓	
<i>auction sales establishment</i>		✓		
<i>building materials yard</i>		✓		
<i>bus transportation terminal</i>		✓		
<i>business office</i> or <i>professional office</i> of a consulting engineer or surveyor	✓	✓		✓
<i>car wash</i>			✓	✓
<i>commercial school</i>			✓	✓
<i>contractor's yard or shop</i>		✓		

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INDUSTRIAL ZONES

Table 9.2: Permitted Uses in the Industrial Zones

Uses	I1	I2	I3	I4
crematorium	✓	✓		
<i>data centre</i>	✓	✓		✓
<i>dry cleaning establishment</i>			✓	✓
<i>dwelling unit</i> as an <i>accessory use</i>		✓ E		
<i>equipment rental establishment</i>		✓		
<i>equipment service establishment</i>		✓		✓
<i>factory store</i>	✓	✓		✓
<i>food processing establishment</i>	✓	✓		✓
<i>fuel storage depot</i>		✓		
<i>garden centre</i>			✓	
<i>gas bar</i>			✓	
<i>industrial use</i>	✓	✓		✓
<i>cannabis production facility</i>	✓	✓		
<i>motor vehicle body shop</i>		✓		
<i>motor vehicle repair shop</i>		✓		✓
<i>motor vehicle sales or rental establishment</i>			✓	✓
<i>motor vehicle service station</i>			✓	✓
<i>open storage</i>	✓	✓		
<i>private club</i>			✓	✓
<i>recreational park</i>			✓	✓
<i>recreational vehicle sales or rental establishment</i>			✓	
<i>scientific or medical laboratory</i>	✓	✓		✓
<i>service trade</i>		✓		
<i>truck terminal</i>		✓		
<i>veterinarian clinic</i>		✓		✓
<i>warehouse</i>	✓	✓		✓

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INDUSTRIAL ZONES

9.3 Special Use Regulations

9.3.1 Prime Industrial (I1) Zone

9.3.1.1 Factory Store

A *factory store* shall be permitted provided it:

- a) is *accessory* to an *industrial use*; and
- b) does not exceed 25% of the total *gross floor area* of the *building* associated with the *industrial use*, to a maximum *gross floor area* of 930 m², whichever is the lessor.

9.3.1.2 Open Storage

Open storage shall be permitted provided it is:

- a) *accessory* to a *main use*;
- b) restricted to a *rear yard* or *interior side yard*;
- c) not located in a *required yard*;
- d) not located in an *exterior side yard* where it *abuts* an *arterial road*;
- e) not located in a yard *abutting* or across the *street* from a Residential *Zone*;
- f) screened from any *street* or *abutting lot* by a planting strip; and
- g) not located closer to a *widened street* line than 50 m, except where it is enclosed by a wall or opaque fence not less than 2.0 m in *height* and separated from any *lot line* by *landscaped open space* not less than 7.5 m in width.

9.3.1.3 Outside Display and Sale of Goods, Materials or Merchandise

Outside display and sale of goods, materials or merchandise, is permitted as an *accessory use* in accordance with the general provisions of [Section 4.19](#) (Outside Display and Sale of Goods, Materials and Merchandise).

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INDUSTRIAL ZONES

9.3.1.4 Business Office or Professional Office of a Consulting Engineer or Surveyor

A *business office* or *professional office* of a consulting engineer or surveyor may be permitted provided it is clearly *accessory* to a permitted *industrial use* and does not exceed 25% of the total *gross floor area* of the *building*, to a maximum *gross floor area* of 930 m², whichever is the lessor.

9.3.2 General Industrial (I2) Zone

9.3.2.1 Factory Store

A *factory store* shall be permitted provided it:

- a) is *accessory* to an *industrial use*; and
- b) does not exceed 25% of the total *gross floor area* of the *building* associated with the *industrial use*, to a maximum *gross floor area* of 930 m², whichever is the lessor.

9.3.2.2 Open Storage

Open storage shall be permitted provided it is:

- a) *accessory* to a *main use*;
- b) restricted to a *rear yard* or an *interior side yard*;
- c) not located in a *required yard*;
- d) not located in an *exterior side yard* where it *abuts* an arterial road;
- e) not located in a *yard abutting* or across the *street* from a Residential *Zone*; and
- f) screened from any *street* or *abutting lot* by a planting strip.

9.3.2.3 Outside Display and Sale of Goods, Materials or Merchandise

Outside display and sale of goods, materials or merchandise, is permitted as an *accessory use* in accordance with the general provisions of [Section 4.19](#) (Outside Display and Sale of Goods, Materials and Merchandise).

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INDUSTRIAL ZONES

9.3.2.4 Dwelling Units

A maximum of 1 *dwelling unit* may be erected *accessory* to an *industrial use* provided such *dwelling unit* is situated within or is contiguous to a *building* occupied by such *use*.

9.3.2.5 Existing Single Detached Dwellings

The alteration of *existing single detached dwellings* and the erection or alteration of *buildings accessory* thereto shall be permitted in accordance with the regulations of Residential First Density (R1(2)) *Zone*.

9.3.2.6 Business Office or Professional Office of a Consulting Engineer or Surveyor

A business office or *professional office* of a consulting engineer or surveyor may be permitted provided it is clearly *accessory* to a permitted *industrial use* and does not exceed 25% of the total *gross floor area* of the *building*, to a maximum *gross floor area* of 930 m², whichever is the lessor.

9.3.3 Secondary Industrial (I3) Zone

None

9.3.4 Factory District (I4) Zone

9.3.4.1 Factory Store

A *factory store* shall be permitted provided it:

- a) is *accessory* to an *industrial use*; and
- b) does not exceed 25% of the total *gross floor area* of the *building* associated with the *industrial use*, to a maximum *gross floor area* of 930 m², whichever is the lessor.

9.3.4.2 Business Office or Professional Office of a Consulting Engineer or Surveyor

A business office or *professional office* of a consulting engineer or surveyor may be permitted provided it is clearly *accessory* to a permitted *industrial use* and does not exceed 25% of the total *gross floor area* of the *building*, to a maximum *gross floor area* of 930 m², whichever is the lessor.

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INDUSTRIAL ZONES

9.4 General Use Regulations

No person shall within any Industrial *Zone use* or permit the *use* of any *lot* or *erect*, alter or *use* any *building* or *structure* except in accordance with the *zone* standards in Table 9.4 below. Any numbers in parentheses following the particular regulation, *zone* heading, or applicable standard indicates that one or more additional regulations apply to *buildings* and *structures* in the applicable *zone*.

Table 9.4: Regulations in the Industrial Zones				
Zone Variation Standard ①	I1	I2	I3O	I4
<i>Lot Area:</i>	5,000 m ²	2,000 m ²	-	2,000 m ²
<i>Lot Frontage:</i>	75 m	30 m	-	30 m
Minimum <i>Setback:</i>	7.5 m ②	7.5 m ②	-	7.5 m ②
<i>Lot Depth:</i>	150 m	75 m	-	75 m
<i>Side Yard Width:</i>				
where a <i>side yard abuts</i> a residential or institutional <i>zone</i>	15.0 m	15.0 m	-	15.0 m
where a <i>side yard abuts</i> a <i>railway line</i>	0.0 m	0.0 m	-	0.0 m
all other cases	5.0 m ③	5.0 m ③	-	5.0 m ③
<i>Rear Yard Depth:</i>				
where a <i>rear yard abuts</i> a residential or institutional <i>zone</i>	15.0 m ④	15.0 m ④	-	15.0 m ④
where a <i>rear yard abuts</i> a <i>railway line</i>	0.0 m	0.0 m	-	0.0 m
all other cases	7.5 m	6.0 m	-	7.5 m
Maximum <i>Lot Coverage:</i>	40%	50%	-	40%
Maximum <i>Height:</i>	30 m	30 m	-	30 m
Minimum <i>Gross Floor Area (main building):</i>	1,850 m ² ⑤	-	-	-
Minimum <i>Landscaped Open Space:</i>	30%	20%	-	30%

SECTION 9.0

INDUSTRIAL ZONES

Additional Regulations for Table 9.4

1. Unless specified otherwise, regulations expressed herein are minimums.
2. Except that a gatehouse may be permitted as an *accessory use* anywhere in a *front yard* or *exterior side yard*, other than in a *visibility triangle*.
3. Or one-half the *height* of the *building* whichever is the greater.
4. Except where a wall not less than 2.0 m in *height* or a planting strip containing a continuous opaque barrier not less than 2.0 m in *height abuts* and extends the entire length of the *rear lot line*, in which case 6.0 m.
5. Or 15% of the *lot area*, whichever is the lesser.
6. General *use* regulations for lands with an I3 compound *zone* shall be in accordance with the compound Industrial *Zone*.

SECTION 10.0

INSTITUTIONAL ZONES

SECTION 10 INSTITUTIONAL ZONES

No land shall be *used*, no *buildings* or *structures* shall be erected and no *lot* shall be altered in the Institutional *Zones* except in accordance with the applicable General Provisions ([Section 4.0](#)) and Parking and Loading Requirements ([Section 5.0](#)) and the following:

10.1 List of Applicable Zones

Institutional Community	IN1
Institutional Neighbourhood	IN2

10.2 Permitted Uses

Uses permitted in the Institutional *Zones* are denoted by the symbol "✓" in the column applicable to that *zone* and corresponding with the row for a specific permitted *use* in [Table 10.2](#), below.

Table 10.2: Permitted Uses in the Institutional Zones		
Uses	IN1	IN2
Residential Uses:		
<i>dwelling unit</i> as an <i>accessory use</i>	✓	✓
<i>retirement home</i>	✓	
Institutional and Open Space Uses:		
<i>auditorium</i>	✓	
<i>hospice</i>	✓	✓
<i>hospital</i>	✓	
<i>library</i>	✓	
<i>nursing home</i>	✓	
<i>offices, federal, provincial or municipal</i>	✓	✓
<i>park</i>	✓	
<i>place of worship</i>	✓	✓
<i>recreational park</i>	✓	✓
<i>school, elementary</i>	✓	✓
<i>school, post-secondary</i>	✓	

SECTION 10.0

INSTITUTIONAL ZONES

Table 10.2: Permitted Uses in the Institutional Zones

Uses	IN1	IN2
<i>school, private</i>	✓	
<i>school, secondary school</i>	✓	
Commercial Uses:		
<i>business office</i> of an incorporated not-for-profit organization	✓	✓
<i>clinic</i>	✓①	✓①
<i>day care centre</i>	✓①	✓①
<i>private club</i>	✓①	✓①

Additional Regulations for Table 10.2

1. Permitted *use* shall be *accessory* to a main permitted *use*.

10.3 Special Use Regulations

10.3.1 Institutional Community (IN1) Zone

None

10.3.2 Institutional Neighbourhood (IN2) Zone

None

SECTION 10.0

INSTITUTIONAL ZONES

10.4 General Use Regulations

No person shall within any Institutional *Zone use* or permit the *use* of any *lot* or *erect*, alter or *use* any *building* or *structure* except in accordance with the *zone* standards in Table 10.4 below. Any numbers in parentheses following the particular regulation, *zone* heading, or applicable standard indicates that one or more additional regulations apply to *buildings* and *structures* in the applicable *zone*.

Table 10.4: Regulations in the Institutional Zones		
Zone Variation Standard ①	IN1	IN2
Minimum <i>Lot Area</i> :	2,000 m ²	500 m ²
<i>Lot Frontage</i> :	30.0 m	15.0 m
Minimum <i>Setback</i> :	7.5 m ②	7.5 m ②
<i>Side Yard Width</i> :	4.5 m ③	4.5 m ③
<i>Rear Yard Depth</i> :	7.5 m	7.5 m
Maximum <i>Lot Coverage</i> :	30%	35%
Maximum <i>Height</i> :	30.0 m	12.0 m
Minimum <i>Landscaped Open Space</i>	35%	35%

Additional Regulations for Table 10.4

1. Unless specified otherwise, regulations expressed herein are minimums.
2. Except that a gatehouse may be permitted as an *accessory use* anywhere in a *front yard* or *exterior side yard*, other than in a *visibility triangle*.
3. Or one-half the *height* of the *building* whichever is the greater.

SECTION 11.0

THEATRE DISTRICT ZONE

SECTION 11 THEATRE DISTRICT ZONE

No land shall be *used*, no *buildings* or *structures* shall be erected and no *lot* shall be altered in the Theatre *Zone* except in accordance with the applicable General Provisions ([Section 4.0](#)) and Parking and Loading Requirements ([Section 5.0](#)) and the following:

11.1 List of Applicable Zones

Theatre District

TH

11.2 Permitted Uses

Uses permitted in the Theatre District *Zone* are denoted by the symbol “✓” in the column applicable to that *zone* and corresponding with the row for a specific permitted *use* in [Table 11.2](#), below.

Table 11.2: Permitted Uses in the Theatre District Zone	
Uses	TH
<i>business and/or professional office</i>	✓
<i>public park</i>	✓
<i>public use</i>	✓
<i>special event space</i>	✓
<i>studio</i>	✓
<i>theatre</i>	✓
<i>theatre classroom</i>	✓
<i>theatre restaurant</i>	✓
<i>theatre retail store</i>	✓

11.3 Special Use Regulations

11.3.1 Theatre District Zone

Business and/ or professional office is defined as means any part of the building in which one or more persons are employed in the management, direction or conducting of the theatre business or business associated with the theatre or where qualified persons and their staff service the business aspects of the theatre and may also include administrative offices associated with the theatre.

SECTION 11.0

THEATRE DISTRICT ZONE

11.4 General Use Regulations

No person shall within any Theatre District *Zone use* or permit the *use* of any *lot* or *erect*, alter or *use* any *building* or *structure* except in accordance with the *zone* standards in Table 11.4 below. Any numbers in parentheses following the particular regulation, *zone* heading, or applicable standard indicates that one or more additional regulations apply to *buildings* and *structures* in the applicable *zone*.

Table 11.4: Regulations in the Theatre District Zone	
Zone Variation Standard ①	TH
Minimum <i>Lot Area</i> :	1.83 ha
<i>Lot Frontage</i> :	Lakeside Drive shall be deemed to be the <i>front lot line</i> .
Minimum <i>Front Yard Setback</i> :	0 m
<i>Setback</i> from Morenz Drive:	7.5 m
<i>Setback</i> from Water Street:	7.5 m
<i>Setback</i> from Waterloo Street South:	7.5 m
Maximum <i>Lot Coverage</i> :	30%
Maximum <i>Height</i> :	11.5 m
Minimum <i>Landscaped Open Space</i> :	30%
Minimum Parking Spaces	166

Additional Regulations for Table 11.4

1. Unless specified otherwise, regulations expressed herein are minimums.
2. Notwithstanding Section 5.3.2 (Location of Driveways, Parking Areas and Parking Aisles), *parking spaces* and drive aisles may be permitted within the *setbacks*.

When *parking spaces* are not *accessory* to a permitted *use*, they shall be made available to the public.

SECTION 12.0

PARKS AND OPEN SPACE ZONES

SECTION 12 PARKS AND OPEN SPACE ZONES

No land shall be *used*, no *buildings* or *structures* shall be erected and no *lot* shall be altered in the Parks and Open Space *Zones* except in accordance with the applicable General Provisions ([Section 4.0](#)) and Parking and Loading Requirements ([Section 5.0](#)) and the following:

12.1 List of Applicable Zones

Parks	P
Open Space	OS

12.2 Permitted Uses

Uses permitted in the Parks and Open Space *Zones* are denoted by the symbol "✓" in the column applicable to that *zone* and corresponding with the row for a specific permitted *use* in [Table 12.2](#), below.

Table 12.2: Permitted Uses in the Parks and Open Space Zones		
Uses	P	OS
<i>auditorium</i>	✓	
<i>cemetery</i>	✓	
<i>conservation use</i>	✓	✓
<i>golf course</i>	✓	
<i>park</i>	✓	✓
<i>private club</i>	✓	
<i>recreational park</i>	✓	
<i>theatre</i> (performing arts)	✓	

12.3 Special Use Regulations

12.3.1 Parks (P) Zone

None

12.3.2 Open Space (OS) Zone

12.3.2.1 Buildings and Structures

SECTION 12.0

PARKS AND OPEN SPACE ZONES

No *buildings* or *structures* shall be permitted unless *accessory* to a *public use*.

12.4 General Use Regulations

No person shall within any Park and Open Space *Zone use* or permit the *use* of any *lot* or *erect*, alter or *use* any *building* or *structure* except in accordance with the *zone* standards in Table 12.4 below. Any numbers in parentheses following the particular regulation, *zone* heading, or applicable standard indicates that one or more additional regulations apply to *buildings* and *structures* in the applicable *zone*.

Table 12.4: Regulations in the Park and Open Space Zones		
Zone Variation Standard ①	P	OS
Minimum <i>Lot Area</i> :		
where no <i>buildings</i> are constructed	-	-
where <i>buildings</i> are constructed	1,000 m ²	1,000 m ²
Minimum <i>Lot Frontage</i> :		
where no <i>buildings</i> are constructed	-	-
where <i>buildings</i> are constructed	15.0 m	30.0 m
Minimum <i>Setback</i> :	7.5 m ②	7.5 m ②
<i>Side Yard Width</i> :	4.5 m ③	4.5 m ③
<i>Rear Yard Depth</i> :	7.5 m	7.5 m
Maximum <i>Lot Coverage</i> :	20%	10%
Maximum <i>Height</i> :	12.0 m	12.0 m
Minimum <i>Landscaped Open Space</i> :	40%	-

Additional Regulations for Table 12.4

1. Unless specified otherwise, regulations expressed herein are minimums.
2. Except that a gatehouse may be permitted as an *accessory use* anywhere in a *front yard* or *exterior side yard*, other than in a *visibility triangle*.
3. Or one-half the *height* of the *building* whichever is the greater.

SECTION 13.0

AGRICULTURAL ZONE

SECTION 13 AGRICULTURAL ZONE

No land shall be *used*, no *buildings* or *structures* shall be erected and no *lot* shall be altered in the Agricultural *Zone* except in accordance with the applicable General Provisions ([Section 4.0](#)) and Parking and Loading Requirements ([Section 5.0](#)) and the following:

13.1 List of Applicable Zones

Agricultural A

13.2 Permitted Uses

Uses permitted in the Agricultural *Zone* are denoted by the symbol "✓" in the column applicable to that *zone* and corresponding with the row for a specific permitted *use* in [Table 13.2](#) below. Where the letter "E" is identified following the symbol "✓", only legally *existing uses* shall be permitted.

Table 13.2: Permitted Uses in the Agricultural Zone	
Uses	A
<i>agriculture use</i>	✓
<i>agriculture-related use</i>	✓ E
<i>animal shelter</i>	✓ E
<i>conservation use</i>	✓
forestry	✓
<i>home occupation</i>	✓
<i>institutional use</i>	✓ E
<i>livestock facility</i>	✓ E
non-farm residential <i>use</i>	✓ E
<i>on-farm diversified use</i>	✓ E
<i>wayside permit aggregate operation (wayside pit)</i>	✓

SECTION 13.0

AGRICULTURAL ZONE

13.3 Special Use Regulations

13.3.1 Agricultural (A) Zone

13.3.1.1 On-farm Diversified Uses

- a) *On-farm diversified uses* may only be permitted through a site-specific amendment to the Zoning By-law, and in accordance with the following:
 - i) the *use* is secondary to the *main* farm *use* on the *lot*, and is clearly farm-related through on-going interaction with agricultural activities;
 - ii) the *use* is operated by a resident of the farm and employs no more than one off-farm resident employee;
 - iii) the *use* may be conducted in a *building* other than the *dwelling unit*, provided it is located within a *cluster* of *existing* farm *buildings*;
 - iv) the aggregate activity area, including all associated *uses* such as but not limited to parking, loading areas, and recreational amenities shall not exceed 15% of total *lot area*. Production lands which are *used* for the growing of crops and simultaneously *used* as part of the activity area shall not be included in the calculation of the 15%; and
 - v) the *use* shall be subject to Site Plan Control in accordance with the *Planning Act*.

13.3.1.2 Agriculture-Related Uses

- a) *Agriculture-related uses* may only be permitted through a site-specific amendment to the Zoning By-law, and in accordance with the following:
 - i) the *use* is secondary to the *main* farm *use* on the *lot*, and is clearly farm-related through on-going interaction with agricultural activities;
 - ii) the *use* is restricted to “dry” agricultural operations;
 - iii) the *use* is operated by a resident of the farm and employs no more than one off-farm resident employee;

SECTION 13.0

AGRICULTURAL ZONE

- iv) the *use* may be conducted in a *building*, provided it is located within a *cluster* of *existing* farm *buildings*;
- v) the aggregate activity area, including all associated *uses* such as but not limited to parking, loading areas, and service areas shall not exceed 15% of total *lot area*. Production lands which are *used* for the growing of crops and simultaneously *used* as part of the activity area shall not be included in the calculation of the 15%; and,
- vi) the *use* shall be subject to Site Plan Control in accordance with the *Planning Act*.

13.3.1.3 Agriculture-Related Uses

- a) In an Agricultural Zone, a *dwelling unit* shall not be established except on a lot with an area of 15 ha or larger and in accordance with the *Minimum Separation Distance* I Formulae (MDSI).

SECTION 13.0

AGRICULTURAL ZONE

13.4 General Use Regulations

No person shall within any Agricultural Zone *use* or permit the *use* of any *lot* or *erect*, alter or *use* any *building* or *structure* except in accordance with the *zone* standards in Table 13.4 below. Any numbers in parentheses following the particular regulation, *zone* heading, or applicable standard indicates that one or more additional regulations apply to *buildings* and *structures* in the applicable *zone*.

Table 13.4: Regulations in the Agricultural Zone	
Zone Variation Standard ①	A
Minimum <i>Lot Area</i> :	
<i>Agricultural uses</i>	<i>existing</i>
Other permitted <i>uses</i>	1,850 m ²
Minimum <i>Lot Frontage</i> :	
<i>Agricultural uses</i>	<i>existing</i>
Other permitted <i>uses</i>	30 m
Minimum <i>Yard</i> Requirements ②:	
<i>Front Yard</i>	30 m
<i>Rear Yard</i>	30 m
<i>Side Yard</i>	30 m
<i>Exterior Side Yard</i>	30 m
Minimum <i>Yard</i> Requirements ③:	
<i>Front Yard</i>	15.0 m
<i>Rear Yard</i>	7.5 m
<i>Side Yard</i>	4.5 m
<i>Exterior Side Yard</i>	15.0 m
Maximum <i>Lot Coverage</i> :	
Agricultural <i>buildings</i> and <i>structures</i>	10%
Other permitted <i>buildings</i> and <i>structures</i>	30%
Maximum <i>Height</i> :	

SECTION 13.0

AGRICULTURAL ZONE

Table 13.4: Regulations in the Agricultural Zone

Zone Variation Standard ①	A
Agricultural <i>buildings</i> and <i>structures</i>	40 m
Other permitted <i>buildings</i> and <i>structures</i>	12 m

Additional Regulations for Table 13.4

1. Unless specified otherwise, regulations expressed herein are minimums.
2. For *buildings* and *structures* for livestock and manure storage and *buildings* and *structures accessory* to an agricultural *use*, and in accordance with the *Minimum Distance Separation II Formulae (MDS II)*.
3. For other permitted *buildings* and *structures*.

SECTION 14.0

URBAN RESERVE ZONE

SECTION 14 URBAN RESERVE ZONE

No land shall be *used*, no *buildings* or *structures* shall be erected and no *lot* shall be altered in the Urban Reserve *Zone* except in accordance with the applicable General Provisions ([Section 4.0](#)) and Parking and Loading Requirements ([Section 5.0](#)) and the following:

14.1 List of Applicable Zones

Urban Reserve

UR

14.2 Permitted Uses

Uses permitted in the Urban Reserve *Zone* are denoted by the symbol "✓" in the column applicable to that *zone* and corresponding with the row for a specific permitted *use* in [Table 14.2](#) below. Where the letter "E" is identified following the symbol "✓", only legally *existing* uses shall be permitted.

Table 14.2: Permitted Uses in the Urban Reserve Zone

Uses	UR
<i>existing use</i>	✓ E
<i>home occupation</i>	✓
<i>single detached dwelling</i>	✓ E

14.3 Special Use Regulations

14.3.1 Urban Reserve (UR) Zone

14.3.1.1 Existing Single Detached Dwellings

The alteration of an *existing single detached dwelling* or the erection or alteration of *buildings accessory* thereto shall be permitted in accordance with the regulations of Residential First Density (R1(2)) *Zone*.

SECTION 14.0

URBAN RESERVE ZONE

14.4 General Use Regulations

No person shall within any Urban Reserve Zone *use* or permit the *use* of any *lot* or *erect*, alter or *use* any *building* or *structure* except in accordance with the *zone* standards in Table 14.4 below. Any numbers in parentheses following the particular regulation, *zone* heading, or applicable standard indicates that one or more additional regulations apply to *buildings* and *structures* in the applicable *zone*.

Table 14.4: Regulations in the Urban Reserve Zone	
Zone Variation Standard ①	UR
Minimum <i>Lot Area</i> :	<i>existing</i>
Minimum <i>Lot Frontage</i> :	<i>existing</i>
Minimum <i>Lot Depth</i> :	<i>existing</i>
Permitted <i>Buildings</i> and <i>Structures</i> :	<i>existing</i>
Minimum <i>Yard</i> Requirements: ②	<i>existing</i>
Maximum <i>Lot Coverage</i> :	20%
Maximum <i>Height</i> :	<i>existing</i>

Additional Regulations for Table 14.4

1. Unless specified otherwise, regulations expressed herein are minimums.
2. For *buildings* and *structures* for livestock and manure storage and *buildings* and *structures accessory* to an agricultural *use*, established by the *Minimum Distance Separation II Formulae (MDS II)*.

SECTION 15.0

ZONE EXCEPTIONS

SECTION 15 ZONE EXCEPTIONS

15.1 Residential First Density (R1) Zone

15.1.1

- a) Defined area (portion of Douglas Street, Franklin Street and Buckingham Street)
R1(5)-1 as shown on Schedule "A", Map 1
- b) Minimum aggregate side yard width: 2.0m
- c) Minimum front yard depth: 6.0m
- d) Minimum exterior side yard width: 6.0m
Lot 24 and Lot 33, Plan 44M-5

15.1.2

- a) Defined area (300 William Street Unit 1)
R1(2)-2 as shown on Schedule "A", Map 3
- b) Permitted use
 - Bed and breakfast establishment in an existing single detached dwelling
 - Single detached dwelling
 - All other uses permitted in the R1 zone
- c) Minimum lot area: 4590m²
- d) Maximum lot coverage: 10%
- e) Minimum landscaped open space: 75.5%
- f) Maximum number of guest rooms: 6

15.1.3

- a) Defined area (386 Cambria Street)
R1(3)-3 as shown on Schedule "A", Map 4
- b) Permitted use
 - Clinic

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ZONE EXCEPTIONS

- Professional office
- All other uses permitted in the R1 zone

15.1.4

- a) Defined area (101 Kelly's Lane and 99 Kelly's Lane – By-law 113-2004)
R1(2)-4 as shown on Schedule "A", Map 3

- b) Private lane

- for the purposes of the defined area, Section 4.2 (Access Required to a Street) shall not apply

15.1.5

- a) Defined area (210 Water Street)
R1(3)-5 as shown on Schedule "A", Map 5

- b) Permitted use

- Business office
- Clinic
- Data centre
- Newspaper publishing establishment
- Professional office
- Radio/television broadcasting establishment
- All other uses permitted in the R1 zone

15.1.6

- a) Defined area (339 Romeo Street North – By-law 19-2010)
R1(5)-6 as shown on Schedule "A", Map 3

- b) Minimum rear yard depth: 2.0m

- c) Minimum lot depth: 20.0m

15.1.7

- a) Defined area (north of Perth Line 36, west side of Mornington Street)
R1(2)-7 as shown on Schedule "A", Map 2

- b) Permitted use

- Notwithstanding any provision of this By-law to the contrary, permitted uses shall be limited to one single-detached dwelling, a

SECTION 15.0

ZONE EXCEPTIONS

home occupation, a bed and breakfast establishment and accessory buildings and structures

- c) Minimum lot area: 2250m²
- d) Maximum lot frontage: 27.5m (Interior Lot); 30m (Corner Lot)
- e) Minimum front yard: 7.5m
- f) Minimum interior side yard: 3.0m on one side and 1.2m on the other side
- g) Minimum exterior side yard: 7.5m
- h) Minimum rear yard: 7.5m
- i) Maximum lot coverage: 30%
- j) Maximum building height: 10m
- k) Minimum landscaped open space: 30%

15.1.8

- a) Defined area (properties in the vicinity of Orr Street and Culliton Street – By-law 64-2015)
R1(5)-8 as shown on Schedule “A”, Map 2
- b) Maximum garage width of the elevation facing the front lot line: 70%
- c) Maximum driveway width of the lot: 65%

15.1.9

- a) Defined area (52 Front St.)
R1(4) – 9 as shown on Schedule “A”, Map 5
- b) Permitted use
 - Bed and breakfast establishment
 - Single detached dwelling
 - All other uses permitted in the R1 zone
- c) Maximum number of guest rooms: 3

SECTION 15.0

ZONE EXCEPTIONS

15.1.10

- a) Defined area (300 William Street Units 2-7)
R1(2)-10 as shown on Schedule "A", Map 3
- b) Permitted use
 - Single detached dwelling in accordance with the Plan of Condominium
- c) Maximum number of dwellings: 6
- d) Minimum lot frontage
 - i) Lot 4: 20m
- e) Number of accessory guest rooms: 0

15.1.11

- a) Defined area (127 O'Loane Avenue – By-law 116-2009)
R1(3)-11 as shown on Schedule "A", Map 4
- b) Minimum interior lot frontage: 9.1m

15.1.12

- a) Defined area (62 John Street North)
R1(2)-12 as shown on Schedule "A", Map 1
- b) Permitted use
 - Bed and breakfast establishment
 - All other uses permitted in the R1 zone
- c) Maximum number of guest rooms: 5
- d) Minimum lot area for Bed and Breakfast Establishment (By-law 48-2004):
 - All of Lots 6, 15 and 16 in Registered Plan of Subdivision No. 45 in the City of Stratford, County of Perth

15.1.13

- a) Defined area (325 St. David Street)
R1(3)-13 as shown on Schedule "A", Map 4

SECTION 15.0

ZONE EXCEPTIONS

b) Permitted use

- Bed and breakfast establishment
- All other uses permitted in the R1 zone

c) Maximum number of guest rooms: 4

d) Accessory buildings or structures

- Notwithstanding the provisions of Section 4.1.2 (Accessory Buildings and Structures and Uses), no accessory buildings or structures shall be permitted to be located within 6.0m of any side or rear lot line

15.1.14

a) Defined area (66 Queen Street) R1(3)-14 as shown on Schedule "A", Map 5

b) Permitted use

- Bed and breakfast establishment
- Single detached dwelling
- All other uses permitted in the R1 zone

c) Maximum number of guest rooms: 4

d) Planting strip

- A perennial garden shall be planted and maintained such that within 1.0m of the edge of the driveway, perennial species shall reach a minimum height of 1.5m and achieve a density at maturity sufficient to adequately filter the view of motor vehicles parked within the driveway from Ballantyne Avenue

e) Parking in exterior yard

- A maximum of two parking spaces shall be permitted to encroach 2.5m into the exterior side yard other than in a driveway

15.1.15

a) Defined area (portion of Franklin Drive) R1(5)-15 as shown on Schedule "A", Map 1

SECTION 15.0

ZONE EXCEPTIONS

b) Setback

- Franklin Drive: 6m

c) Minimum lot area

- Lot 60, Plan 44M-5: 295m²
- Lot 63, Plan 44M-5: 285m²
- Lot 64, Plan 44M-5: 280m²
- Lot 65, Plan 44M-5: 270m²

d) Minimum lot depth

- Lot 66, Plan 44M-5: 16.5m

15.1.16

a) Defined area (35 McManus Road) R1(2)-16 as shown on Schedule "A", Map 3

b) Permitted use

- Respite home
- All other uses permitted in the R1 zone

c) Definition

- For the purposes of the defined area, the following shall apply:
 - i. Respite home: means a dwelling operated by a not-for profit, charitable organization where medically fragile individuals requiring constant care shall be cared for by qualified personnel to provide respite to caregivers and/or family members

d) Maximum number of medically fragile individuals permitted to stay at the respite home at any one time: 5

15.1.17

a) Defined area (76 Queen Street) R1(3)-17 as shown on Schedule "A", Map 5

SECTION 15.0

ZONE EXCEPTIONS

b) Permitted use

- Bed and breakfast establishment
- All other uses permitted in the R1 zone

c) Maximum number of guest rooms: 3

d) Required planting strips in accordance with Section 4.21 (Planting Strips)

- Along driveway and parking area on south side of property
- Along north property line between rear wall of dwelling and the front wall of the garage of 70 Queen Street

15.1.18

a) Defined area (78 John Street North) R1(2)-18 as shown on Schedule "A", Map 1

b) Permitted use

- Supply of short term rental accommodation to the public for a fee in the existing building subject to:
 - i) Maximum number of dwelling units used to supply short term rental accommodation: 4
 - ii) Number of dwelling units that must be owner occupied: 1
- All other uses permitted in the R1 zone

15.1.19

a) Defined area (108 Ballantyne Avenue) R1(3)-19 as shown on Schedule "A", Map 5

b) Permitted use

- Duplex dwelling
- All other uses permitted in the R1 zone

15.1.20

a) Defined area (170 Hibernia Street) R1(3)-20 as shown on Schedule "A", Map 1

SECTION 15.0

ZONE EXCEPTIONS

b) Permitted use

- Bed and breakfast establishment
- All other uses permitted in the R1 zone

c) Maximum number of guest rooms: 4

15.1.21

a) Defined area (162 Ballantyne Avenue)
R1(3)-21 as shown on Schedule "A", Map 5

b) Permitted use

- Bed and breakfast establishment
- All other uses permitted in the R1 zone

c) Maximum number of guest rooms: 3

d) Minimum interior side yard separation distance: 0.9m

15.1.22

a) Defined area (344 William Street – By-law 14-2004)
R1(2)-22 as shown on Schedule "A", Map 3

b) Permitted use

- Bed and breakfast establishment
- All other uses permitted in the R1 zone

c) Maximum number of guest rooms: 4

d) Required planting strips in accordance with Section 4.21 (Planting Strips):

- Shall not be required along north side of parking area

e) Required one meter separation distance in accordance with Section 4.3.2
d)

- Shall not be required along north side of parking area

f) Required parking spaces

SECTION 15.0

ZONE EXCEPTIONS

- One parking space in the garage shall be available at all times for the parking of vehicles

15.1.23

- a) Defined area (west side of John Street North, south of Avon Street – By-law 48-2004)

R1(2)-23 as shown on Schedule “A”, Map 1

- b) Front yard depth

- All buildings: 18.5m

15.1.24

- a) Defined area (North Pointe Drive)

R1(4)-24 as shown on Schedule “A”, Map 3

- b) Permitted use

- Single detached dwelling in accordance with the Plan of Condominium
- All other uses permitted in the R1 zone

- c) Maximum number of dwellings: 40

- d) Minimum front yard depth/exterior side yard width: 6m

- Provided that no part of any attached or detached garage shall be erected less than 7.5m to the front lot line or an exterior side lot line

- e) Aggregate side yard width: 2m

- f) Maximum lot coverage: 45%

15.1.25

- a) Defined area (312 Cobourg Street)

R1(3)-25 as shown on Schedule “A”, Map 5

- b) Permitted use

- i) Bed and breakfast establishment
- ii) All other uses permitted in the R1 zone

SECTION 15.0

ZONE EXCEPTIONS

- c) Maximum number of guest rooms: 2
- d) Planting strip
 - i) Notwithstanding Section 4.21 (Planting Strips), the minimum width of a required planting strip shall be 1m
 - ii) Notwithstanding Section 4.3.2 (c), no planting strip shall be required between the front of the house at 308 Cobourg Street and the existing garage at 312 Cobourg Street

15.1.26

- a) Defined area (190 Queensland Road – By-law 115-2006)
R1(3)-26 as shown on Schedule “A”, Map 4
- b) Permitted use
 - Private school
 - Day care centre
 - All other uses permitted in the R1 zone
- c) Minimum setback: in accordance with the R1(3) regulations.
- d) Minimum side yard width
 - 4.5m or one-half the height of the building, whichever is greater
- e) Minimum rear yard depth: 7.5m
- f) Maximum lot coverage: 30%
- g) Minimum landscaped open space: 35%
- h) Maximum building height: 10m

15.1.27

- a) Not defined

15.1.28

- a) Defined area (properties on Greenberg Place, Rutherford Drive and Fairfield Drive – By-law 103-2007)
R1(5)-28 as shown on Schedule “A”, Map 3

SECTION 15.0

ZONE EXCEPTIONS

b) Garage width

- Notwithstanding Table 6.4.1, Note (2), for the purposes of the defined area, attached garages shall not exceed seventy (70) percent of the width of the elevation facing the front line of a single detached dwelling erected on the lot

15.1.29

a) Not defined

15.1.30

- Defined area (west side of O'Loane Avenue, south of the railway tracks – By-law 161-2008)
R1(5)-30 as shown on Schedule "A", Map 4
- Minimum setback from O'Loane Avenue: 10.5m

15.1.31

- Defined area (576 O'Loane Avenue)
R1(5)-31 as shown on Schedule "A", Map 1
- Minimum setback from O'Loane Avenue: 10.5m
- Maximum building height: 11.5m

15.1.32

- Defined area (Northwest Stratford, north and south side of McCarthy Road West)
R1(5)-32 as shown on Schedule "A", Map 2
- Exterior side yard width
 - Where a corner lot is sited so that its rear lot line abuts an adjacent interior side yard, the exterior side yard width shall be 4.5m, when a corner lot is sited so that its rear lot line abuts an adjacent rear lot line the exterior side yard width shall be 3m. In all cases any part of any attached or detached garage shall provide a parking space between the garage door and the road allowance.
- General use regulations
 - Any attached or detached garage shall not exceed sixty (60) per cent of the width of the front building elevation of a dwelling erected on

SECTION 15.0

ZONE EXCEPTIONS

the lot (measured from inside face of outside wall to inside face of outside wall) and the front yard depth or exterior side yard width for a dwelling shall not exceed 6.0m

- ii) At the intersection of two local roads, a minimum sight triangle of 3m by 3m shall apply

15.1.33

- a) Defined area (95 Kelly's Lane – By-law 29-2019)
R1(2)-33 as shown on Schedule "A", Map 3
- b) Private lane
 - For the purposes of the defined area, Section 4.2 hereof shall not apply
- c) Front lot line
 - The portion of the lot that abuts the private right-of-way (Kelly's Lane) is deemed to be the front lot line
 - Minimum front yard setback: 30m

15.1.34

- a) Defined area (95 Kelly's Lane – By-law 29-2019)
R1(2)-34 as shown on Schedule "A", Map 3
- b) Private lane
 - For the purposes of the defined area, Section 4.2 hereof shall not apply
- c) Front lot line
 - The portion of the lot that abuts the private right-of-way (Kelly's Lane) is deemed to be the front lot line

15.1.35

- a) Not defined

15.1.36

- a) Defined area (northwest corner of Mornington Street and Perth Line 36)
R1(4)-36 as shown on Schedule "A", Map 2

SECTION 15.0

ZONE EXCEPTIONS

- b) Minimum rear yard depth: 6.0m
- c) Minimum exterior side yard width: where a corner lot is situated so that its rear lot line abuts an adjacent rear lot line the exterior side yard width shall be 1.2m. In all other cases it shall be a minimum of 4.5m.
- d) Minimum lot frontage (corner lot): 12.6m
- e) Minimum lot area (corner lot): 415m²
- f) Minimum interior side yard: 1.2m
- g) Minimum landscaped open space: 35%
- h) Maximum lot coverage: 45%
- i) General use regulations:
 - i) A minimum sight triangle of 3m by 3m shall apply
 - ii) A garage shall not project more than 1.0m beyond the building elevation facing the front lot line or the exterior lot line
 - iii) In all cases any part of an attached or detached garage shall provide a parking space between the garage door and the road allowance
 - iv) If the exterior side yard setback is less than 4.5m, no driveway shall be permitted along the exterior lot line or off of the exterior lot line

15.1.37

- a) Defined area (north of Britannia Street east of Briarhill Drive – Draft Approved Plan of Subdivision 31T19-001 – By-law 33-2021) R1(5)-37 as shown on Schedule “A”, Map 1
- b) Minimum front yard depth: 3m
- c) Minimum exterior side yard width: 3m
- d) Minimum interior side yard width: 1.5m
- e) Maximum height: 11.5m
- f) General use regulations:

SECTION 15.0

ZONE EXCEPTIONS

- i) A garage shall not project more than 1.0m beyond the building elevation facing the front lot line or the exterior lot line
- ii) In all cases any part of an attached or detached garage shall provide a parking space between the garage door and the road allowance

15.1.38

- a) Defined area (north of Britannia Street east of Briarhill Drive – Draft Approved Plan of Subdivision 31T19-001 – By-law 33-2021) R1(5)-38 as shown on Schedule “A”, Map 1
- b) Minimum front yard depth: 3m
- c) Minimum exterior side yard width: 3m
- d) Minimum interior side yard width: 1.5m
- e) Maximum height: 11m
- f) General use regulations:
 - i) A garage shall not project more than 1.0m beyond the building elevation facing the front lot line or the exterior lot line
 - ii) In all cases any part of an attached or detached garage shall provide a parking space between the garage door and the road allowance

15.1.39

- a) Not defined

SECTION 15.0

ZONE EXCEPTIONS

15.2 Residential Second Density (R2) Zone

15.2.1

- a) Defined area (semi-detached dwellings only)
- R2(1)-1 as shown on Schedule "A", Map 1 (Bell Court, Hibernia Street, Galt Road)
 - R2(1)-1 as shown on Schedule "A", Map 2 (Campbell Court)
 - R2(1)-1 as shown on Schedule "A", Map 3 (McCarthy Road)
 - R2(1)-1 as shown on Schedule "A", Map 4 (Burnham Crescent)
 - R2(1)-1 as shown on Schedule "A", Map 5 (Falstaff Street, King Street)
 - R2(1)-1 as shown on Schedule "A", Map 6 (Babb Crescent, Walsh Crescent, Wooton Court)

b) Permitted use

- Semi-detached dwelling
- Group home

15.2.2

- a) Defined area (312 Huron Street – By-law 48-2014)
- R2(1)-2 as shown on Schedule "A", Map 1

b) Permitted use

- Triplex dwelling in accordance with the duplex regulations of the R2(1) zone
- All other uses permitted in the R2 zone

15.2.3

- a) Defined area (436-450 Douglas Street)
- R2(1)-3 as shown on Schedule "A", Map 1

b) Minimum lot frontage

- Semi-detached dwelling: 8.8m

15.2.4

- a) Defined area (25 William Street)
- R2(1)-4 as shown on Schedule "A", Map 1

b) Permitted use

SECTION 15.0

ZONE EXCEPTIONS

- Professional office
- Clinic
- All other uses permitted in the R2 zone

15.2.5

- a) Defined area (198 Mornington Street) (Amended by OMB Decision By-law 84-2011)
R2(2)-5 as shown on Schedule "A", Map 1
- b) Permitted use
 - Nursing home
 - All uses permitted in the R2 zone
- c) General use regulations – nursing home
 - In accordance with R5(3) of Table 6.4.5
- d) Parking regulation
 - Minimum parking space standard: nursing home 1 parking space for every 2.6 beds
 - All other parking regulations in accordance with Section 5.0 (Parking and Loading Requirements)

15.2.6

- a) Defined area (447 Brunswick Street)
R2(2)-6 as shown on Schedule "A", Map 5
- b) Permitted use
 - Service trade
 - All uses permitted in the R2 zone

SECTION 15.0

ZONE EXCEPTIONS

15.2.7

- a) Defined area (215 Douro Street – By-law 154-2021)
R2(1)-7 as shown on Schedule “A”, Map 5
- b) Converted dwelling
 - Maximum number of dwelling units: 3
- c) Permitted use
 - Take-out restaurant
 - All other uses permitted in the R2 zone
- d) Take-out restaurant
 - Maximum net floor area: 74m²
 - No drive-through is permitted
- e) Parking
 - 1 parking space per 37m² of net floor area for the take-out restaurant
 - 1 parking space associated with the take-out restaurant shall be a minimum of 3.4m wide
 - 2 parking spaces are permitted to be a minimum of 2.4m wide
 - No accessible parking spaces shall be required for the take-out restaurant
- f) Minimum lot area: 480m²
- g) Minimum lot frontage: 19.71m
- h) Minimum lot depth: 24.38m
- i) Minimum front yard depth for the existing building: 0m
- j) Minimum exterior side yard width for the existing building: 0m
- k) Minimum interior side yard setback for the existing building: 2.8m

SECTION 15.0

ZONE EXCEPTIONS

- l) Minimum front yard and exterior side yard setback for the existing architectural adornments: 0m
- m) Planting strip: the existing planting strips along the property and on adjacent lands are deemed to satisfy Section 4.21. Should these existing planting strips be removed new planting strips will be required and shall comply with Section 4.21.

15.2.8

- a) Defined area (90 Gordon Street)
R2(1)-8 as shown on Schedule "A", Map 6
- b) Permitted use
 - Business office
 - Clinic
 - Professional office
 - All uses permitted in the R2 zone

15.2.9

- a) Defined area (north side of Wingfield Avenue)
R2(1)-9 as shown on Schedule "A", Map 8
- b) Permitted use
 - Duplex dwelling
 - Group home
 - Semi-detached dwelling
- c) Minimum front yard depth and exterior side yard width: 6.0m

15.2.10

- a) Defined area (south side of Wingfield Avenue)
R2(1)-10 as shown on Schedule "A", Map 8
- b) Permitted use
 - Duplex dwelling

SECTION 15.0

ZONE EXCEPTIONS

- Group home
 - Quadruplex dwelling
 - Semi-detached dwelling
- c) Minimum front yard depth and exterior side yard width: 6.0m
- d) Minimum rear yard depth
- Lot 19 to 22, Plan 44M-2: 14m in the case of a two-storey dwelling
- e) Zone standards for quadruplex dwellings
- f) Minimum lot area: 300m²
- g) Minimum lot frontage: 9.6m on an interior lot
- h) All other standards: in accordance with Section 6.4.3

15.2.11

- a) Defined area (28 Waterloo Street North)
R2(1)-11 as shown on Schedule "A", Map 1
- b) Permitted use
- Supply of short-term rental accommodation to the public for a fee in the existing building subject to c)
- c) Maximum number of dwelling units used to supply short term rental accommodation: 3

15.2.12

- a) Defined area (141 West Gore – By-law 93-2015)
R2(1)-12 as shown on Schedule "A", Map 8
- b) Permitted use
- Triplex dwellings
 - All uses permitted in the R2 zone
- c) Zone standards for a triplex dwelling within an existing building
- i) Minimum exterior side yard for a garage or a parking space: 5.3m

SECTION 15.0

ZONE EXCEPTIONS

ii) All other standards in accordance with R2(1) duplex regulations in Table 6.4.2

d) Zone standards for uses permitted in by the R2 zone:

i) R2(1) regulations in Table 6.4.2.

15.2.13

a) Defined area (Gregory Crescent – By-law 146-2001)
R2(2)-13 as shown on Schedule “A”, Map 3

b) Minimum side yard width

- Semi-detached dwelling: 1.0m

c) Aggregate side yard width

- Semi-detached dwelling: 2.0m

15.2.14

a) Defined area (157 Church Street)
R2(1)-14 as shown on Schedule “A”, Map 4

b) Permitted use

- Bed and breakfast establishment
- Single detached dwelling
- All other uses permitted in the R1 zone

c) Maximum number of guest rooms: 5

15.2.15

a) Defined area (35 Waterloo Street North – By-law 208-2001)
R2(1)-15 as shown on Schedule “A”, Map 1

b) Permitted use

- A community facility in the existing building
- All other uses permitted in the R2 zone

c) Definition

SECTION 15.0

ZONE EXCEPTIONS

- For the purpose of the defined area, the following shall apply:
 - i. Community facility means a building provided by the Corporation or by any other group or organization without profit or gain for such purposes as a community centre, meeting rooms, a gymnasium, space for arts, culture, social, educational, training and recreation programs and activities, and may include office space associated with the provision of these services, and the control of which is vested in the Corporation or a non-profit organization

15.2.16

- a) Defined area (east side of Abraham Drive)
R2(2)-16 as shown on Schedule "A", Map 3
- b) Minimum side yard width
 - Semi detached dwelling: 1.0m
- c) Aggregate side yard width
 - Semi detached dwelling: 2.0m
- d) Minimum lot area, lots 1 and 15
 - Semi detached dwelling: 725m²
- e) Minimum front yard depth/exterior side yard width for an attached or detached garage: 6.0m

15.2.17

- a) Defined area (29 Dufferin Street)
R2(1)-17 as shown on Schedule "A", Map 8
- b) Permitted use
 - 5 unit converted dwelling
 - All other uses permitted in the R2 zone

15.2.18

- a) Defined area (12-16 Elizabeth Street)
R2(1)-18 as shown on Schedule "A", Map 1

SECTION 15.0

ZONE EXCEPTIONS

b) Permitted use

- Supply of short term rental accommodation to the public for a fee in the existing building subject to:
 - i. Maximum number of dwelling units used to supply short term rental accommodation: 3
 - ii. Number of dwelling units that must be owner occupied: 1
- All other uses permitted in the R2 zone

15.2.19

a) Defined area (57 Cambria Street – By-law 201-2003) R2(1)-19 as shown on Schedule “A”, Map 8

b) Permitted use

- Quadruplex dwelling
- All other uses permitted in the R2 zone

c) Location of required parking

- All required parking is to be located in the rear yard

d) Required planting strips

- Along the east property line between 53 and 57 Cambria Street
- Along the south and west sides of the rear yard parking area

e) Front yard landscaped open space

- Landscaped open space shall extend across the full depth of the front yard from the west property line to 9m east of the west property line

15.2.20

a) Defined area (100-176 Brown Street – OMB Decision – By-law 15-2015) R2(2)-20 as shown on Schedule “A”, Map 4

b) Minimum corner lot area

SECTION 15.0

ZONE EXCEPTIONS

- Semi-detached dwelling: 405m²
- c) Minimum exterior side yard width
 - Semi-detached dwelling: 3.8m
- d) Minimum corner lot frontage
 - Semi-detached dwelling: 11.6m

15.2.21

- a) Defined area (153 West Gore Street)
R2(1)-21 as shown on Schedule "A", Map 8
- b) Permitted use
 - Triplex
 - All other uses permitted in the R2 zone
- c) Required planting strips
 - Along the south and west sides of the parking lot

15.2.22

- a) Defined area (501 Albert Street)
R2(2)-22 as shown on Schedule "A", Map 6
- b) Permitted use
 - Apartment building
 - All other uses permitted in the R2 zone
- c) Maximum number of dwelling units
 - Apartment building: 5
- d) Maximum height
 - Apartment building: 2 storeys
- e) Planting strip for apartment building:
 - Notwithstanding Section 4.21 (Planting Strips), an opaque fence

SECTION 15.0

ZONE EXCEPTIONS

with a minimum height of 1.5m shall be required along the east, south and west property lines

15.2.23

- a) Defined area (166 Elgin Crescent – By-law 128-2012)
R2(1)-23 as shown on Schedule “A”, Map 9
- b) Permitted use
 - Triplex dwelling
 - All other uses permitted in the R2 zone
- c) Minimum lot area
 - Triplex dwelling: 450m²
- d) Lot frontage interior lot
 - Triplex dwelling: 15m
- e) Minimum side yard width
 - Triplex dwelling: 1.0m plus an additional 0.5m for each storey of a dwelling in excess of one-storey to a maximum of 2.0m
- f) Aggregate side yard width
 - Triplex dwelling: 3.0m

15.2.24

- a) Defined area (246 Railway Avenue – By-law 75-2005)
R2(1)-24 as shown on Schedule “A”, Map 8
- b) Permitted use
 - Storage by the Corporation of the City of Stratford in the existing building
 - All other uses permitted in the R2 zone

15.2.25

- a) Defined area (589 Mornington Street – By-law 136-2005)
R2(1)-25 as shown on Schedule “A”, Map 3

SECTION 15.0

ZONE EXCEPTIONS

- b) Maximum number of semi detached dwelling units: 12

15.2.26

- a) Defined area (60 Simcoe Street – By-law 230-2005)
R2(2)-26 as shown on Schedule “A”, Map 9
- b) Minimum lot frontage for duplex dwelling: 13m
- c) Location of driveway for duplex or converted dwelling
- The driveway for a duplex or converted dwelling shall abut the west property line
- d) Maximum driveway width for duplex or converted dwelling: 3m
- e) Location of landscaped open space for duplex or converted dwelling
- The east side yard for a duplex or converted dwelling shall be maintained as landscaped open space

15.2.27

- a) Defined area (50 Simcoe Street – By-law 230-2005)
R2(2)-27 as shown on Schedule “A”, Map 9
- b) Permitted use
- Quadruplex dwelling
 - Triplex dwelling
 - All other permitted uses in the R2 zone
- c) Location of driveway
- The driveway for any dwelling shall abut the east property line
- d) Maximum driveway width: 3.0m
- e) Minimum side yard width, west side: 3.0m
- f) Location of landscaped open space
- The west side yard shall be maintained as landscaped open space

SECTION 15.0

ZONE EXCEPTIONS

15.2.28

- a) Defined area (260 Monteith Avenue – By-law 22-2006)
R2(1)-28 as shown on Schedule “A”, Map 4
- b) Permitted use
 - Pet grooming establishment
 - All other permitted uses in the R2 zone
- c) Location
 - For the purpose of the defined area, the pet grooming establishment shall be restricted to the existing detached accessory building on the property, and the outside housing or keeping of pets is prohibited

15.2.29

- a) Defined area (515 Brunswick Street – By-law 54-2006)
R2(2)-29 as shown on Schedule “A”, Map 6
- b) Permitted use
 - Quadruplex dwelling
 - All other permitted uses in the R2 zone
- c) Location of required parking
 - All required parking is to be located in the rear yard
- d) Required planting strips
 - Notwithstanding Section 4.21 (Planting Strips), a planting strip shall be required along the east, south and west sides of the rear yard with a minimum height of 1.5m
- e) Building height
 - Maximum height of 2 storeys

15.2.30

- a) Defined area (west of O’Loane Avenue, north of tracks)
R2(2)-30 as shown on Schedule “A”, Map 1

SECTION 15.0

ZONE EXCEPTIONS

b) Minimum setback

- O’Loane Avenue: 10.5m

c) Maximum building height: 11.5m

15.2.31

a) Defined area (210 Norfolk Street – By-law 150-2007) R2(1)-31 as shown on Schedule “A”, Map 9

b) Permitted use

- Group home
- Temporary living accommodation for persons with disabilities
- All other uses permitted in the I2 zone, in accordance with the I2 regulations

c) Group home

- For the purposes of the defined area, a group home shall be permitted in a dwelling other than a single detached dwelling and shall permit the accommodation of a minimum of three (3) individuals

d) Temporary living accommodation for persons with developmental disabilities

- For the purposes of the defined area, temporary living accommodation shall be provided for persons with developmental disabilities who are experiencing difficulties at home. During their stay, these persons shall be supervised by qualified personnel 24 hours a day. The maximum number of persons with developmental disabilities being provided with temporary living accommodation shall be limited to three (3) at any one time.

15.2.32

a) Defined area (163 Brunswick Street – By-law 53-2008) R2(2)-32 as shown on Schedule “A”, Map 5

b) Permitted use

- Aesthetics service as a home occupation in a semi-detached

SECTION 15.0

ZONE EXCEPTIONS

dwelling

- All other uses permitted in the R2 zone

c) Home occupation

- For the purposes of the defined area, an aesthetics service as a home occupation shall be permitted in a semi-detached dwelling

15.2.33

a) Defined area (453-455 Brunswick Street – By-law 92-2008)
R2(2)-33 as shown on Schedule “A”, Map 5

b) Permitted use

- Triplex dwelling
- All other uses permitted in the R2 zone

c) Parking in an exterior side yard in accordance with 3.13.3

- One parking space shall be allowed in the exterior side yard

15.2.34

a) Defined area (west side of O’Loane Avenue, south of the railway tracks –
By-law 161-2008)
R2(2)-34 as shown on Schedule “A”, Map 4

b) Setback from O’Loane Avenue: 10.5m

15.2.35

a) Defined area (300-316 Dufferin Street – By-law 36-2009)
R2(2)-35 as shown on Schedule “A”, Map 8

b) Minimum corner lot area: 518 m²

c) Minimum corner lot frontage: 17.26m

15.2.36

a) Defined area (211 Railway Avenue – By-law 94-2009)
R2(1)-36 as shown on Schedule “A”, Map 8

b) Permitted use

SECTION 15.0

ZONE EXCEPTIONS

- Quadruplex dwelling
- All uses permitted in the R2(1) zone

c) Regulations

- Maximum permitted driveway width of 3m
- Driveway is restricted to the north half of the property
- Minimum side yard setback for the south property line of 2.5m
- Parking restricted to the rear yard
- Planting strip required along the south and front property lines in accordance with an approved landscape plan

15.2.37

- Defined area (126 Water Street – By-law 76-2010)
R2(1)-37 as shown on Schedule “A”, Map 5
- Minimum front yard setback on Water Street: 4.5m
- Minimum exterior side yard setback for a garage on North Street: 2.5m

15.2.38

- Defined area (Part Lot 29 and 30, Block D, Part Lane Registered Plan 102 – 25 Duke Street, OMB Decision – By-law 84-2011)
R2(2)-38 as shown on Schedule “A,” Map 1
- Permitted use
 - Shall only be a maximum of 10 motor vehicle parking spaces as accessory to the nursing home on lands zoned R2(2)-5 and municipally identified as 198 Mornington Street
- General Use Regulations
 - Front yard depth of lands zoned R2(2)-38: 1m minimum
 - All other general use regulations in accordance with R5(3) of Table 6.4.5

SECTION 15.0

ZONE EXCEPTIONS

15.2.39

- a) Defined area (4 McFarlane Street - By-law 76-2011)
R2(1)-39 as shown on Schedule "A", Map 4
- b) Permitted use
 - Commercial school and up to one residential dwelling unit within the existing building
 - All other uses permitted in the R2 zone

15.2.40

- a) Defined area (Northwest Stratford, south side of McCarthy Road West)
R2(2)-40 as shown on Schedule "A", Map 2
- b) Permitted use
 - Boarding house
 - Converted dwelling
 - Day care centre
 - Duplex dwelling
 - Group home
 - Home occupation
 - Single detached dwelling
- c) Minimum lot frontage
 - Duplex: 16.0m
- d) Exterior side yard width: 7.5m
- e) General use regulations
 - Any attached or detached garage shall not exceed sixty (60) per cent of the width of the front building elevation of a dwelling erected on the lot (measured from inside face of outside wall to inside face of outside wall)

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ZONE EXCEPTIONS

- At the intersection of a local road and an arterial road, a minimum sight triangle of 10m by 10m shall apply

15.2.41

- a) Defined area (40, 48, 50, 60, 66 and 72 Daly Avenue – By-law 145-2018) R2(1)-41 as shown on Schedule “A”, Map 1
- b) Minimum setback, Worsley Street: 5.0m
- c) Minimum lot depth: 25.0m
- d) Minimum deck encroachment into rear yard: 3.5m
- e) Maximum building height for lots that front onto Daly Avenue
 - To be measured from the average grade at the front yard setback
- f) Schedule “B” – Notwithstanding the provisions of Schedule “B”, the design width of Worsley Street abutting these lands shall be 12.0m

15.2.42

- a) Defined area (northwest corner of West Gore and Dufferin Street (Pt Lot 30 C Plan 93 – By-law 74-2019)) R2(2)-42 as shown on Schedule “A”, Map 8
- b) Permitted use
 - Parking area for lands known municipally as 45 Cambria Street
- c) Minimum setback to a parking area or parking aisle
 - West Gore Street: 2.7m

15.2.43

- a) Defined area (north of Britannia Street east of Briarhill Drive – Draft Approved Plan of Subdivision 31T19-001 – By-law 33-2021) R2(2)-43 as shown on Schedule “A”, Map 1
- b) Minimum front yard depth: 3.0m
- c) Minimum exterior side yard width: 3.0m
- d) Minimum interior side yard width: 1.5m except no side yard width shall be required along the side lot line where the individual dwelling units of a

SECTION 15.0

ZONE EXCEPTIONS

semi-detached dwelling are attached together by a common wall provided that any wall which does not constitute part of such common wall or a direct extension thereof shall be setback not less than 1.5m from the side lot line separating such lots

- e) Maximum height: 11.5m
- f) General use regulations:
 - A garage shall not project more than 1.0m beyond the building elevation facing the front lot line or the exterior lot line
 - In all cases any part of any attached or detached garage shall provide a parking space between the garage door and the road allowance

15.2.44

- a) Defined area (north of Britannia Street east of Briarhill Drive – Draft Approved Plan of Subdivision 31T19-001 – By-law 33-2021) R2(2)-44 as shown on Schedule “A”, Map 1
- b) Minimum front yard depth: 3.0m
- c) Minimum exterior side yard width: 3.0m
- d) Minimum interior side yard width: 1.5m except no side yard width shall be required along the side lot line where the individual dwelling units of a semi-detached dwelling are attached together by a common wall provided that any wall which does not constitute part of such common wall or a direct extension thereof shall be setback not less than 1.5m from the side lot line separating such lots
- e) Maximum height: 11.0m
- f) General use regulations:
 - A garage shall not project more than 1.0m beyond the building elevation facing the front lot line or the exterior lot line
 - In all cases any part of any attached or detached garage shall provide a parking space between the garage door and the road allowance

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15.2.45

- a) Defined area (458 Brunswick Street – By-law 159-2006)
R2(2)-45 as shown on Schedule “A”, Map 5
- b) Permitted use
 - Triplex dwelling
 - All other uses permitted in the R2 zone

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15.3 Residential Third Density (R3) Zone

15.3.1

- a) Defined area (44 Frederick Street – By-law 131-2001)
R3-1 as shown on Schedule “A”, Map 5
- b) Minimum side yard width: 0m
 - Where two pairs of quadraplex dwelling units on abutting lots are attached together by a common wall extending along the side lot line separating such lots, except in the case of a wall which does not constitute part of such common wall or a direct extension thereof in which case the minimum side yard width shall be 1.5m

15.3.2

- a) Defined area (19 Grange Street)
R3-2 as shown on Schedule “A”, Map 5
- b) Permitted use
 - Professional office on the ground floor
 - Clinic on the ground floor
 - All uses permitted in the R3 zone

15.3.3

- a) Defined area (403, 409, 413 St. Vincent St South – By-law 120-2006)
R3-3 as shown on Schedule “A”, Map 4
- b) Permitted use
 - Quadraplex dwelling
 - All other uses permitted in the R3 zone
- c) Zone standards
 - Lot frontage: 17.5m minimum
- d) Required planting strips
 - Notwithstanding Section 4.21 (Planting Strips), a planting strip shall

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be required along the south side of the property with a minimum height of 1.5m

e) Building height

- Maximum height of 2 storeys

15.3.4

a) Defined area (173 King Street – By-law 109-2001)
R3-4 as shown on Schedule “A”, Map 5

b) Definition

- For the purposes of the defined area, the following shall apply:
 - i. Part 3 and Part 4, Reference Plan 44R-3788 shall constitute one lot

15.3.5

a) Defined area (102-104 Church Street)
R3-5 as shown on Schedule “A”, Map 5

b) Permitted use

- Supply of short term rental accommodation to the public for a fee in the existing quadruplex subject to:
 - i. Maximum number of dwelling units used to supply short term rental accommodation: 3
 - ii. Number of dwelling units that must be owner occupied: 1
- All other uses permitted in the R3 zone

15.3.6

a) Defined area (100, 104, 110 Brunswick Street)
R3-6 as shown on Schedule “A”, Map 5

b) Permitted use

- Inn
- All other uses permitted in the R3 zone

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c) Special use regulations

- Each of the entire buildings at 100 and 110 Brunswick Street shall only be rented as one dwelling unit

15.3.7

a) Defined area (629 Ontario Street – By-law 130-2006) R3-7 as shown on Schedule “A”, Map 6

b) Permitted use

- Professional office
- Clinic
- Business office
- All other uses permitted in the R3 zone

15.3.8

a) Defined area (81 Falstaff Street – By-law 58-2010) R3-8 as shown on Schedule “A”, Map 5

b) Permitted use

- Boarding house dwelling
- Converted dwelling
- Day care centre
- Elementary school
- Group home
- Home occupation
- Place of worship
- Single detached dwelling, existing
- Triplex dwelling

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15.3.9

- a) Defined area (98 Shakespeare Street – By-law 144-2015)
R3-9 as shown on Schedule “A”, Map 5
- b) Minimum setback
 - Average of the established building line setback on the two lots next to 98 Shakespeare Street
- c) Maximum setback: 5.8m

15.3.10

- a) Defined area (north portion of 71 Cobourg Street – By-law 93-2008)
R3-10 as shown on Schedule “A”, Map 5
- b) Converted dwelling maximum number of dwelling units: 2
- c) Lot depth (converted dwelling): 20.24m
- d) Rear yard depth (converted dwelling): 1.32m
- e) Easterly side yard (converted dwelling): 0.33m
- f) Lot area (converted dwelling): 289.49m²

15.3.11

- a) Defined area (14 Milton Street – By-law 78-2021)
R3-11 as shown on Schedule “A”, Map 5
- b) Permitted use
 - Inn
 - All uses permitted in the R3 zone
- c) Minimum setback from Milton Street: 6.1m
- d) Minimum eastern side yard setback: 4.2m
- e) Minimum setback for a parking area and driveway along the western lot line without a planting strip: 0.5m
- f) Minimum driveway width for two-way traffic: 5.0m

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- g) Minimum setback for a patio from the eastern lot line with a planting strip from the rear lot line to the front of the existing dwelling: 1.0m

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15.4 Residential Fourth Density (R4) Zone

15.4.1

- a) Defined area (west side of Franklin Drive between 151-183)
R4(1)-1 as shown on Schedule "A", Map 1
- b) Minimum interior side yard width: 2.25m
- c) Minimum rear yard depth
 - Lot 58 to Lot 66, inclusive, 44M-5: 6.0m
- d) Maximum lot coverage: 55%
- e) Maximum height: 6.0m
- f) Maximum number of storeys: 1

15.4.2

- a) Defined area (59 Eagle Drive)
R4(2)-2 as shown on Schedule "A", Map 3
- b) Permitted use
 - Private club
 - Cluster single detached dwelling
 - Street townhouse dwelling
 - Cluster townhouse dwelling
- c) General use regulations
 - In accordance with Table 15.4.2:

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**Table 15.4.2 Residential Fourth Density R4(2)-2, 59 Eagle Drive,
Meadowridge Retirement Village**

Zone Variation Standard (1)	Cluster Single Detached Dwelling	Street Townhouse Dwelling	Cluster Townhouse Dwelling	Private Club
Lot Area	360m ²	180m ²	1000m ²	150m ²
Lot Frontage: interior lot	12m	6m	30m	6m
Lot Frontage: corner lot	15m	10.5m	35m	10.5m
Lot Depth	24m	24m	24m	24m
Front Yard Depth/Exterior Side Yard Width	4.5m (2)	4.5m (2)	4.5m (2)	4.5m (2)
Side Yard Width	1.2m	1.2m (3)	1.2m (3)	1.2m
Aggregate Side Yard Width	2.4m	2.4m	2.4m	2.4m
Rear Yard Depth	4.5m	4.5m	4.5m	4.5m
Maximum Lot Coverage	50%	50%	50%	75%
Maximum Height	8.5m	8.5m	8.5m	8.5m
Maximum Number of Dwelling(s) per Lot	1	1	-	-
Maximum Lot Density	-	-	50 upnh (4)	-
Landscaped Open Space	30%	30%	30%	25%

Notes:

- 1) Unless specified otherwise, regulations expressed herein are minimums and for the purposes of establishing compliance with any standard of Table 15.4.2, a private street shall be deemed to be a street or an improved street and Section 4.2 (Access Required to a Street) shall not apply.
- 2) Provided that no part of any attached or detached garage shall be erected less than 6.0 m to a front lot line or an exterior side lot line.
- 3) Except that no side yard width shall be required on the side where individual street townhouse dwelling units or townhouse dwelling units on abutting lots are attached together by a common wall extending along the side lot line separating such lots, provided that any wall which does not constitute part of such common

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wall or a direct extension thereof shall be set back not less than 1.0m from the side lot line separating such lots.

4) upnh means units per net hectare.

15.4.3

a) Defined area (32, 34, 36, 38 Frederick Street)
R4(1)-3 as shown on Schedule "A", Map 5

b) Permitted use

- Quadruplex dwelling
- Street townhouse dwelling
- Cluster townhouse dwelling

c) Regulations

- Minimum exterior side yard width for a townhouse dwelling: 1.8m
- Minimum interior side yard width for a townhouse dwelling: 0.6m, except that no side yard width shall be required on the side where individual street townhouse units are attached together by a common wall extending along the side lot line separating such lots.

15.4.4

a) Defined area (portions of Long Drive)
R4(1)-4 as shown on Schedule "A", Map 3

b) Minimum lot area

- Street townhouse dwelling (per unit): 350m² on a corner lot and 180m² on an interior lot

c) Front yard depth/exterior side yard width

- 4.5m provided that no part of any attached or detached garage shall be erected less than 6.0m to a front lot line or an exterior side lot line

d) Minimum setback

- In accordance with the R4(1) regulations

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15.4.5

- a) Defined area (west side of Railway Avenue, north of Pine Street – By-law 177-2007)
R4(1)-5 as shown on Schedule “A”, Map 8
- b) Permitted use
 - Street townhouse dwelling
- c) More than one zone
 - For the purposes of the defined area, Section 2.3.2 shall not apply

15.4.6

- a) Defined area (50 Galt Road – By-law 100-2008)
R4(2)-6 as shown on Schedule “A”, Map 1
- b) Permitted use
 - Cluster townhouse dwelling
- c) Maximum number of townhouse dwellings: 80
- d) General use regulations
 - Access shall be provided by a private street
 - Tandem parking accessory to a townhouse dwelling shall be permitted

15.4.7

- a) Defined area (350 O’Loane Avenue – By-law 161-2008)
R4(2)-7 as shown on Schedule “A”, Map 4
- b) Minimum density: 23 uph
- c) Setback from O’Loane Avenue: 10.5m

15.4.8

- a) Defined area (55 Harrison Street – By-law 19-2010)
R4(2)-8 as shown on Schedule “A”, Map 3
- b) Minimum exterior side yard depth: 2.5m

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15.4.9

- a) Defined area (101 Brunswick Street – By-law 105-2011)
R4(2)-9 as shown on Schedule “A”, Map 5
- b) Minimum lot area – apartment building: 875.5m²
- c) Minimum parking aisle width: 1.8m
- d) Minimum lot width: 29m
- e) Minimum east side yard width: 4.6m

15.4.10

- a) Defined area (27-39 Butler Cove Road – By-law 91-2014)
R4(1)-10 as shown on Schedule “A”, Map 2
- b) Minimum interior side yard width: 0.45m
- c) Maximum lot coverage: 43%

15.4.11

- a) Defined area (589 West Gore – By-law 53-2015)
R4(2)-11 as shown on Schedule “A”, Map 4
- b) Permitted use
 - Cluster townhouse dwelling
- c) Maximum density calculated on entire property: 35uph
- d) Lot that has access to a private street is considered to be a lot for the purposes of zoning
- e) Minimum landscape open space calculated on entire property: 25%
- f) Required parking spaces to be allowed in tandem and count toward the minimum required parking for each individual townhouse dwelling
- g) Parking aisles and visitor parking allowed within the common element condominium driveway
- h) Rear yard setback: 6.5m or 4m from any required easement
- i) Rear yard setback to a second storey: 7.5m

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j) Lot frontage for any parcel of tied lands: 6m

k) Lot coverage: 65%

15.4.12

a) Defined area (Blocks 108 & 109 – 576 O’Loane Avenue)
R4(2)-12 as shown on Schedule “A”, Map 1

b) Permitted use

- Apartment dwelling
- Back-to-back townhouse dwelling
- Nursing home
- Quadruplex dwelling
- Stacked townhouse dwelling
- Street townhouse dwelling
- Townhouse dwelling

c) For the purposes of the defined area, minimum lot area, lot frontage, lot depth and setbacks are deemed to be to the exterior boundary of the block

d) Minimum setback

- O’Loane Avenue: 10.5m

e) Minimum density: 25uph

f) Maximum density: 65uph

g) Minimum lot area

- Interior lot, apartment dwelling, back-to-back or stacked townhouse dwelling: 605m²

h) Minimum lot area

- Corner lot, apartment dwelling, back-to-back or stacked townhouse

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dwelling: 680m²

i) Minimum lot frontage

- Interior lot, apartment dwelling, back-to-back or stacked townhouse dwelling: 18m

j) Minimum lot frontage

- Corner lot, apartment dwelling, back-to-back or stacked townhouse dwelling: 21m

k) Minimum lot depth: 36m

l) Minimum front yard depth/exterior side yard width: 4.5m

m) Minimum front yard depth/exterior side yard width to a garage: 6.0m

n) Minimum side yard width: 1.5m

o) Minimum rear yard depth: 6.0m

p) Maximum building height: 13.5m

q) Maximum lot coverage: 40%

15.4.13

a) Defined area (Block 109 – 576 O'Loane Avenue)
R4(2)-13 as shown on Schedule "A", Map 1

b) Permitted use

- Apartment dwelling
- Back-to-back townhouse dwelling
- Nursing home
- Quadruplex dwelling
- Stacked townhouse dwelling
- Street townhouse dwelling
- Townhouse dwelling

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- c) For the purposes of the defined area, minimum lot area, lot frontage, lot depth and setbacks are deemed to be to the exterior boundary of the block
- d) Minimum lot area
 - Interior lot, apartment dwelling, back-to-back or stacked townhouse dwelling: 605m²
- e) Minimum lot area
 - Corner lot, apartment dwelling, back-to-back or stacked townhouse dwelling: 680m²
- f) Minimum lot frontage
 - Interior lot, apartment dwelling, back-to-back or stacked townhouse dwelling: 18m
- g) Minimum lot frontage
 - Corner lot, apartment dwelling, back-to-back or stacked townhouse dwelling: 21m
- h) Minimum lot depth: 36m
- i) Minimum front yard depth/exterior side yard width: 4.5m
- j) Minimum front yard depth/exterior side yard width to a garage: 6.0m
- k) Minimum side yard width: 1.5m
- l) Minimum rear yard depth: 6.0m
- m) Maximum building height: 13.5m
- n) Maximum lot coverage: 40%
- o) Maximum number of storeys: 2.5

15.4.14

- a) Defined area (576 O'Loane Avenue)
R4(2)-14 as shown on Schedule "A", Map 1

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b) Permitted use

- Quadruplex dwelling
- Street townhouse dwelling
- Townhouse dwelling

c) Minimum setback

- O'Loane Avenue: 10.5m

d) Minimum rear yard depth: 9.0m

e) Maximum building height: 13.5m

15.4.15

a) Defined area (576 O'Loane Avenue) R4(2)-15 as shown on Schedule "A", Map 1

b) Permitted use

- Quadruplex dwelling
- Street townhouse dwelling
- Townhouse dwelling

c) Maximum building height: 13.5m

15.4.16

a) Defined area (Northwest Stratford, north side of McCarthy Road West) R4(2)-16 as shown on Schedule "A", Map 2

b) Permitted use

- Cluster housing: single detached, semi-detached, townhouse dwellings, back-to-back townhouse dwellings, stacked townhouse dwellings, and apartment dwellings

c) General use regulations in accordance with Table 15.4.16:

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**Table 15.4.16 Northwest Stratford Development,
north side of McCarthy Road West**

Zone Variation Standard	Cluster Single Detached, Semi-Detached, Townhouse Dwellings, Back-to-Back Townhouse Dwellings and Stacked Townhouse Dwellings	Cluster Apartment Dwellings
Block Area	800m ²	1000m ²
Block Frontage	22.0m per block	25.0m per block
Setback from Arterial Road	7.5m (7)	7.5m
Setback from Local Road	6.0m	6.0m (1)
Side Yard Width	1.5m (2)(7)	5.0m (1)
Rear Yard Depth	6.0m (3)	6.0m
Maximum Lot Coverage	35%	30%
Maximum Height	12.0m (4)	22m (8)
Minimum Density	16uph	16uph
Maximum Density	65uph	100uph
Minimum Landscaped Open Space	30%	30%
Parking	1.5 spaces per unit (5)(6)	1.5 spaces per unit (5)

Notes:

- 1) Or half the height of the building whichever is the greater.
- 2) Except that no side yard width shall be required on the side where individual townhouse dwelling units or individual dwelling units of a semi-detached dwelling are attached together by a common wall extending along the side lot line separating such lots, provided that any wall which does not constitute part of such common wall or a direct extension thereof shall be setback not less than 1.5m from the side lot line separating such lots.
- 3) Except that no rear yard depth shall be required along the rear where individual back-to-back townhouse dwelling units are attached together by a common wall extending along the rear lot line separating such lots, provided that any wall which does not constitute part of such common wall or a direct extension thereof shall be setback not less than 6m from the rear lot line separating such lots.

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- 4) Back-to-back townhouses and stacked townhouses are permitted to have a maximum height of 13.5m.
- 5) 0.25 of the required spaces per dwelling unit shall be designated visitor parking.
- 6) Tandem parking (up to a maximum of 2 vehicles) in a driveway accessory to a cluster dwelling unit shall be permitted.
- 7) Any attached or detached garage shall not exceed sixty (60) per cent of the width of the front building elevation of a dwelling unit (measured from inside face of outside wall or common wall to inside face of outside wall or common wall).
- 8) Or 6 storeys whichever is the lesser.

15.4.17

- a) Defined area (Northwest Stratford, south side of McCarthy Rd. West)
R4(2)-17 as shown on Schedule "A", Map 2
- b) Permitted use
 - Street townhouse dwellings
- c) General use regulations in accordance with Table 15.4.17:

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**Table 15.4.17 Northwest Stratford Development,
south side of McCarthy Road West**

Zone Variation Standard	Street Townhouse (per unit)
Lot Area – Internal Lot	180m ²
Lot Area – Corner Lot	420m ²
Lot Frontage – Interior Lot	6.0m
Lot Frontage – Corner Lot	11.0m
Lot Depth	30.0m
Front Yard Depth	6.0m
Exterior Side Yard Width (Abutting a Local Road)	4.5m (1)
Exterior Side Yard Width (Abutting an Arterial Road)	7.5m
Side Yard Width	2.5m (2)
Rear Yard Depth	7.5m
Maximum Lot Coverage	40%
Maximum Height	12.0m
Landscaped Open Space	30%
Maximum Garage Width	60% of the front elevation of a dwelling erected on a lot (measured from the inside face of outside wall or common wall to inside face of outside wall or common wall)
Minimum Sight Triangle	3m x 3m at intersection of local roads 10m x 10m at intersection of local and arterial roads

Notes:

- 1) Any part of any attached or detached garage shall provide a parking space between the garage door and the road allowance.
- 2) Except that no side yard width shall be required on the side where individual street townhouse dwelling units are attached together by a common wall extending along the side lot line separating such lots, provided that any wall which does not constitute part of such common wall or a direct extension thereof shall be setback not less than 2.5m from the side lot line separating such lots.

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15.4.18

- a) Defined area (355 Douro Street (south side of Douro Street, between High Street and Romeo Street South))
R4(2)-18 as shown on Schedule "A", Map 5
- b) Permitted use
 - Back-to-back townhouse dwellings
 - Townhouse dwellings
- c) Front lot line: Douro Street
- d) Required parking spaces to be allowed in tandem and count toward the minimum required parking for each individual townhouse dwelling
- e) Maximum density: 40uph
- f) Minimum common element landscaped open space: 1225m²
- g) Minimum setback, Douro Street: 6.0m
- h) Minimum interior side yard width: 6.0m
- i) Minimum rear yard depth: 7.5m
- j) Minimum setback from a patio door to a patio door: 12.0m
- k) Minimum setback from a patio door to a side wall: 6.0m
- l) Minimum setback from an end unit wall to end unit wall: 2.5m
- m) Maximum building height: 10.5m
- n) Minimum front yard depth: 4.5m
- o) General use regulation
 - Any attached or detached garage shall not exceed sixty (60) percent the width of the elevation facing the front lot line or an exterior side lot line, where the garage is oriented to said lot line of a dwelling erected on the lot (measured from inside face of outside wall to inside face of outside wall)

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15.4.19

- a) Defined area (355 Douro Street (south side of Douro Street, between High Street and Romeo Street South))
R4(2)-19 as shown on Schedule "A", Map 5
- b) Permitted use and regulations
 - All uses and regulations as described in the R4(2)-18 zone
- c) Maximum building height: 13m

15.4.20

- a) Defined area (355 Douro Street (south side of Douro Street, between High Street and Romeo Street South))
R4(2)-20 as shown on Schedule "A", Map 5
- b) Permitted use and regulations
 - All uses and regulations as described in the R4(2)-18 zone
- c) Minimum setback
 - High Street: 6.0m
 - King Street: 6.0m
- d) Minimum interior side yard width: 2.3m

15.4.21

- a) Defined area (355 Douro Street (south side of Douro Street, between High Street and Romeo Street South))
R4(2)-21 as shown on Schedule "A", Map 5
- b) Permitted use and regulations
 - All uses and regulations as described in the R4(2)-18 zone
- c) Minimum setback
 - High Street: 4.5m

15.4.22

- a) Not defined

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15.4.23

- a) Defined area (southwest corner of Vivian Line 36 and Street "B" in draft approved plan 31T18-003)
R4(1)-23 as shown on Schedule "A", Map 2
- b) Permitted use
 - Street townhouse dwelling
- c) Lot area, interior (minimum): 150m²
- d) Lot area, end (minimum): 160m²
- e) Lot area, corner (minimum): 300m²
- f) Lot frontage corner (minimum): 10m
- g) Lot depth (minimum): 25m
- h) Exterior side yard width (minimum): 5m
- i) Rear yard depth (minimum): 5m
- j) Lot coverage (maximum): 55%
- k) Landscaped open space (minimum): 20%
- l) Parking (minimum): 1.5 spaces per dwelling unit. Tandem parking (up to a maximum of 2 vehicles) in a driveway accessory to a townhouse dwelling unit shall be permitted and shall be counted towards meeting the required parking.
- m) Density (minimum): 30uph

15.4.24

- a) Defined area (southwest corner of Vivian Line 36 and Street "B" in draft approved plan 31T18-003)
R4(2)-24 as shown on Schedule "A", Map 2
- b) Permitted use
 - Cluster townhouse dwelling
- c) Lot area, interior (minimum): 160m²

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- d) Lot frontage corner (minimum): 20m
- e) Lot depth (minimum): 20m
- f) Exterior side yard width (minimum): 1.5m
- g) Side yard width (minimum): 2m, except that no side yard width shall be required on the side where individual townhouse dwelling units are attached together by a common wall extending along the side lot line separating such lots, provided that any wall which does not constitute part of such common wall or a direct extension thereof shall be set back not less than 1.5m from the side lot line separating such lots.
- h) Rear yard depth (minimum): 3m
- i) Lot coverage (maximum): 55%
- j) Landscaped open space (minimum): 20%
- k) Parking (minimum): 1.5 spaces per dwelling unit. Tandem parking (up to a maximum of 2 vehicles) in a driveway accessory to a townhouse dwelling unit shall be permitted and shall be counted towards meeting the required parking.
- l) Density (minimum): 30uph

15.4.25

- a) Defined area (northwest corner of Mornington Street and Perth Line 36) R4(2)-25 as shown on Schedule "A", Map 2
- b) Permitted use
 - street townhouse dwellings
- c) Minimum front yard depth: 4.5m
- d) Minimum rear yard depth: 6.0m
- e) General use regulations
 - Any attached or detached garage shall not exceed sixty (60) per cent of the width of the elevation facing the front lot line or an exterior side lot line, where the garage is oriented to said lot line of a dwelling erected on the lot (measured from inside wall of outside

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wall to inside face of outside wall)

- A minimum sight triangle of 3m by 3m shall apply
- A garage shall not project more than 1.0m beyond the building elevation facing the front lot line or the exterior lot line
- In all cases any part of an attached or detached garage shall provide a parking space between the garage door and the road allowance

15.4.26

- a) Defined area (north of Britannia Street east of Briarhill Drive – Draft Approved Plan of Subdivision 31T19-001 – By-law 33-2021) R4(1)-26 as shown on Schedule “A”, Map 1
- b) Maximum height: 11m
- c) Minimum front yard depth: 3m
- d) Minimum interior side yard depth: 1.5m except that no side yard width shall be required on the side where individual street townhouse dwelling units are attached together by a common wall extending along the side lot line separating such lots, provided that any wall which does not constitute part of such common wall or direct extension thereof shall be setback not less than 1.5m from the side lot line separating such lots.
- e) General use regulations
 - In all cases any part of an attached or detached garage shall provide a parking space between the garage door and the road allowance
 - Where a lot or block in the Residential Fourth Density (R4) zone abuts or block in another residential zone, then that part of the said lot abutting such residential lot shall be used for no other purpose than providing a planting strip in accordance with the provisions in Section 4.21

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15.4.27

- a) Defined area (north of Britannia Street east of Briarhill Drive – Draft Approved Plan of Subdivision 31T19-001 – By-law 33-2021) R4(2)-27 as shown on Schedule “A”, Map 1
- b) Permitted use
 - Cluster townhouse dwelling
 - Cluster back-to-back townhouse dwelling
 - Cluster stacked townhouse dwelling
 - Cluster apartment dwelling
- c) General use regulations
 - In accordance with Table 15.4.27
 - Where a lot or block in the Residential Fourth Density (R4) zone abuts a lot or block in another residential zone, then that part of the said lot abutting such residential lot shall be used for no other purpose than providing a planting strip in accordance with the provisions in Section 4.21

Table 15.4.27 Residential Fourth Density R4(2)-27

Block Regulations	Townhouse Dwelling	Back-to-Back Townhouse Dwelling	Stacked Townhouse Dwelling	Apartment Dwelling
Minimum Block Area	800m ²	800m ²	1000m ²	1000m ²
Minimum Block Frontage	12.2m	12.2m	12.2m	12.2m
Minimum Setback from a Local Road	6.0m	6.0m	6.0m	6.0m
Minimum Lot Depth	30.0m	30.0m	30.0m	30.0m
Minimum Side Yard Width	2.5m (2)	2.5m (2)	2.5m plus 1.5m for every storey above the second storey (2)	6.0m
Minimum Rear Yard	7.5m	7.5m	7.5m	7.5m

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Setback				
Maximum Lot Coverage	35%	35%	30%	30%
Maximum Height	11.0m	11.0m	15.0m	15.0m
Maximum Density	36 units per hectare	50 units per hectare	50 units per hectare	65 units per hectare
Minimum Landscaped Open Space	30%	30%	35%	35%
Parking	1.5 parking spaces per dwelling unit (1)	1.5 parking spaces per dwelling unit (1)	1.5 parking spaces per dwelling unit (1)	1.5 parking spaces per dwelling unit (1)
Bicycle Parking	0.25 bicycle parking spaces per dwelling unit	0.25 bicycle parking spaces per dwelling unit	0.25 bicycle parking spaces per dwelling unit	0.25 bicycle parking spaces per dwelling unit

Notes:

- 1) 0.25 of the required spaces per dwelling unit shall be designated visitor parking.
- 2) Where the wall contains windows or doors to habitable rooms the minimum interior side yard setback shall be 6.0m.

15.4.28

- a) Not defined

15.4.29

- a) Not defined

SECTION 15.0

ZONE EXCEPTIONS

15.5 Residential Fifth Density (R5) Zone

15.5.1

- a) Defined area (90 Greenwood Drive)
R5(2)-1 as shown on Schedule "A", Map 2
- b) Maximum Density: 50uph
- c) Maximum building height: 5 storeys or 15m, whichever is the lesser

15.5.2

- a) Defined area (40 Long Drive)
R5(1)-2 as shown on Schedule "A", Map 3
- b) Permitted use
 - Auditorium for adults only in an apartment building
 - Offices for nursing services in an apartment building
 - All uses permitted in the R5 zone
- c) Maximum floor area
 - Offices for nursing services: 135m²

15.5.3

- a) Defined area (689 West Gore Street)
R5(2)-3 as shown on Schedule "A", Map 4
- b) Permitted use
 - Quadruplex dwelling
 - Townhouse dwelling
 - All uses permitted in the R5 zone
- c) General use regulations
 - Quadruplex dwelling in accordance with Table 6.4.3
 - Townhouse dwelling in accordance with Table 6.4.3

SECTION 15.0

ZONE EXCEPTIONS

15.5.4

- a) Defined area (57 - 59 - 61 Church Street)
R5(1)-4 as shown on Schedule "A", Map 5
- b) Definition
 - For the purpose of the defined area, the following shall apply:
 - i. Apartment building means a building, containing five (5) or more dwelling units, each unit of which is independently accessible from a corridor system connecting with a common entrance from outside the dwelling or from an independent entrance from outside the dwelling, and where the occupants of such units have the common right to use halls, stairs, elevators and yards

15.5.5

- a) Defined area (190 Athlone Crescent and 270 Freeland Drive)
R5(1)-5 as shown on Schedule "A", Map 4
- b) Permitted use
 - Place of worship
 - All uses permitted in the R5 zone

15.5.6

- a) Defined area (160 Romeo Street South – By-law 234-2001)
R5(1)-6 as shown on Schedule "A", Map 5
- b) Minimum lot frontage: 7.0m

15.5.7

- a) Defined area (292 Dufferin Street – By-law 31-2013)
R5(1)-7 as shown on Schedule "A", Map 8
- b) Permitted use
 - 6-unit apartment building
 - All uses permitted in the R4 zone
- c) Maximum units per hectare: 56

SECTION 15.0

ZONE EXCEPTIONS

- d) Lot frontage interior lot: 26.7m
- e) Minimum side yard width
 - 6-unit apartment dwelling: 3m or one half of the height of the building whichever is greater

15.5.8

- a) Defined area (1 Forman Avenue – By-law 203-2007)
R5(1)-8 as shown on Schedule “A”, Map 1
- b) Permitted use
 - Apartment building
- c) Side yard width, interior: 1.93m (minimum)
- d) Parking requirements: 1 space per apartment dwelling (minimum)
- e) Parking setback from street line: 5.69m (minimum)

15.5.9

- a) Defined area (200 McCarthy Road West – By-law 13-2008)
R5(1)-9 as shown on Schedule “A”, Map 2
- b) Permitted use
 - Townhouse dwelling
 - i. Maximum number of townhouse dwelling units: 10
 - All uses permitted in the R5 zone

15.5.10

- a) Defined area (235 John Street North and 255 John Street North – By-law 160-2019)
R5(1)-10 as shown on Schedule “A”, Map 1
- b) Maximum lot coverage: 40%
- c) Maximum density: 138 uph

SECTION 15.0

ZONE EXCEPTIONS

15.5.11

- a) Defined area (10 Romeo Street North – By-law 146-2010)
R5(1)-11 as shown on Schedule “A”, Map 3
- b) Permitted use
 - Clinic to a maximum of 200m² of gross floor area
 - Office to a maximum of 380m²
 - Uses accessory to a retirement home
 - All uses permitted in the R5 zone
- c) Notwithstanding Section 12.2 hereof to the contrary, the lands zone UR-1 (354 Delamere Avenue and 106 Romeo Street North) shall be used for no purposes other than a parking area for 10 Romeo Street North

15.5.12

- a) Defined area (431 St. Vincent Street South and 437 St. Vincent Street South) (OMB Decision)
R5(1)-12 as shown on Schedule “A”, Map 4
- b) Permitted use
 - One apartment building with a maximum of sixteen (16) units, and
 - One apartment building with a maximum of eight (8) units
- c) Regulations
 - Maximum building height: 9m
 - Maximum number of storeys: 2
 - Minimum rear yard depth: 14.65m
 - Maximum density: 65uph
 - Other regulations
 - i. A minimum 2.4m board on board solid wood fence shall be required on any lot line that is adjacent to a non-residential zone

SECTION 15.0

ZONE EXCEPTIONS

15.5.13

- a) Defined area (25, 45, 65, 85 and 105 Oxford Street – By-law 71-2014)
R5(1)-13 as shown on Schedule “A”, Map 6
- b) Setbacks
 - The minimum setback to Romeo Street South shall be 3.0m
 - The minimum setback to Oxford Street shall be 3.5m
 - The minimum setback to Burritt Street shall be 3.0m
 - The minimum setback where a yard abuts any industrial zone shall be 10.0m
- c) Minimum landscaped open space: 24%

15.5.14

- a) Defined area (148 & 150 Borden Street – By-law 139-2014)
R5(1)-14 as shown on Schedule “A”, Map 9
- b) Maximum building height: 10m
- c) Maximum density: 65uph

15.5.15

- a) Defined area (125 Orr Street)
R5(1)-15 as shown on Schedule “A”, Map 2
- b) Minimum density: 41.3uph
- c) Maximum height: 15m

15.5.16

- a) Defined area (rear portion of 2 Churchill Circle – By-law 132-2016)
R5(1)-16 as shown on Schedule “A”, Map 1
- b) Regulations:
 - Maximum height of 15m or 4 storeys, whichever is the lesser

SECTION 15.0

ZONE EXCEPTIONS

15.5.17

- a) Defined area (200 and 230 Britannia Street – By-law 18-2018)
R5(1)-17 as shown on Schedule “A”, Map 1
- b) Minimum side yard width (west lot line): 3m
- c) Minimum side yard width (east lot line): 4.5m
- d) Minimum visibility triangle: 9m x 9m
- e) Maximum density: 65uph
- f) The front lot line shall be the south lot line along Britannia Street
- g) Parking regulations for an apartment dwelling
 - 1 parking space per dwelling unit
 - 0.25 visitor parking spaces per dwelling unit
- h) Bicycle parking regulations for an apartment dwelling
 - 0.25 bicycle parking spaces per dwelling unit

15.5.18

- a) Defined area (456 Lorne Avenue West – By-law 126-2018)
R5(1)-18 as shown on Schedule “A”, Map 4
- b) Exterior side yard width (minimum): 6.0m
- c) Side yard width (minimum): 30m
- d) Rear yard depth (minimum): 15m
- e) Planting strip (minimum): 7.5m
- f) Parking space width at the end of a parking aisle (minimum): 2.8m

15.5.19

- a) Defined area (379 Romeo Street North)
R5(1)-19 as shown on Schedule “A”, Map 3
- b) Permitted use
 - Shared living residence

SECTION 15.0

ZONE EXCEPTIONS

- Townhouse dwelling
- All uses permitted in the R5 zone

c) Definition

- Shared living residence means a building containing dwelling units or rooms used for the accommodation for people as their residence, and includes the living accommodations of the operator of the establishment and which contains a common dining area for the residents thereof, and may contain a common lounge, recreation room and other amenities

d) Minimum rear yard setback: 7.5m

e) Minimum density: 30uph

f) Maximum density

- Townhouse dwellings: 40uph
- All other permitted uses: 60uph

g) Density equivalence

- Shared living residence: where dwelling units are not proposed, 2 beds shall equal 1 dwelling unit
- Retirement home/lodge and nursing home: 3 beds shall equal 1 dwelling unit

h) Parking

- Shared living residence: 1 parking space per dwelling unit or 1 parking space per 2 beds

i) General use regulations

- With the exception of the provisions contained in 15.5.19 d), e) and f), townhouse dwellings shall be developed in accordance with the Residential Fourth Density R4(2) zoning provisions in Table 6.4.4 Mixed Use Residential (MUR) zone.

SECTION 15.0

ZONE EXCEPTIONS

15.5.20

- a) Defined area (203, 211, 233 Britannia, 2 Churchill Circle, and 37 Dickins Place)
R5(1)-20 as shown on Schedule "A", Map 1 & Map 2
- b) Maximum density: 100uph
- c) Maximum height: 15m

15.5.21

- a) Defined area (3192 and 3194 Vivian Line 37)
R5(1)-21 as shown on Schedule "A", Map 3
- b) Maximum density: 65uph

15.5.22

- a) Not defined

15.5.23

- a) Defined area (southwest corner of Church Street and St. Patrick Street (74 Church Street and 84 Church Street))
R5(1)-23 as shown on Schedule "A", Map 5
- b) Maximum density: 30uph

15.5.24

- a) Defined area (southwest corner of St. David Street and Birmingham Street (265 St. David Street))
R5(1)-24 as shown on Schedule "A", Map 4
- b) Permitted use
 - All uses in the R5 zone are restricted to the existing building
- c) Minimum exterior side yard setback to a parking space: 2.7m
- d) Minimum rear yard setback to a parking space: 1.5m
- e) Maximum density: 32uph
- f) Maximum size of all expansions to the existing building: 10%

SECTION 15.0

ZONE EXCEPTIONS

15.5.25

- a) Defined area (100 Gordon Street – By-law 150-2021)
R5(1)-25 as shown on Schedule “A”, Map 6
- b) Minimum rear yard depth: 5.2m
- c) Minimum northern side yard width: 2.6m
- d) Minimum depth for a parking space: 5.6m
- e) Minimum driveway width: 9.1m

SECTION 15.0

ZONE EXCEPTIONS

15.6 Mixed Use Residential (MUR) Zone

15.6.1

- a) Defined area (279/281 Ontario Street)
R3/MUR-1 as shown on Schedule "A", Map 5
- b) Permitted use
 - Music shop
 - All other uses permitted in the MUR zone
- c) Definition
 - For the purposes of the defined area, the following shall apply:
 - i. Music shop means a retail store selling recorded music only, including CDs, tapes, records and relating items, but does not include the sale of musical instruments or sheet music
- d) Maximum floor area permitted for music shop use: 100m²
- e) Special use regulations
 - For the purposes of the defined area, Section 2.5 shall apply

15.6.2

- a) Defined area (559, 565 & 571 Ontario Street, 470, 474 and 478 Albert Street and 246 Romeo Street South)
R3/MUR-2 as shown on Schedule "A", Map 5
- b) Special use regulations
 - Notwithstanding Section 6.3.6, a clinic is not limited to an existing building and is not required to be within a building containing a dwelling unit

15.6.3

- a) Defined area (173 Huron Street)
MUR-3 as shown on Schedule "A", Map 1
- b) Permitted use
 - Triplex dwelling

SECTION 15.0

ZONE EXCEPTIONS

- All uses permitted in the MUR zone
- c) Minimum lot area: 500m²
- d) Minimum lot frontage
 - Interior lot: 15m
 - Corner lot: 18m
- e) Minimum lot depth: 30m
- f) Minimum setback: 7.5m
- g) Minimum side yard width: 1.5m
- h) Minimum rear yard depth: 6.0m
- i) Maximum lot coverage: 40%
- j) Maximum building height: 10m
- k) Minimum landscaped open space: 30%
- l) Accessory buildings and structures
 - Maximum lot coverage: 10%
 - Maximum floor area: 100m²
 - Maximum height: one (1) storey or 5.0m, whichever is lesser
 - Maximum height of an exterior wall: 3.0m
- m) Special use regulations
 - A business office, commercial school, personal care establishment, private school, professional office, studio shall be restricted to an existing dwelling which shall contain at least one (1) dwelling unit, not change the external character of the dwelling as a residence, shall not use the front yard or exterior side yard for parking, other than a driveway and shall be restricted to the ground floor only
- n) Inn

SECTION 15.0

ZONE EXCEPTIONS

- Permitted buildings: existing
- o) Existing single detached dwellings
 - The erection of single detached dwellings and the alteration of existing single detached dwellings and the erection or alteration of buildings accessory thereto shall be permitted in accordance with the regulations of Residential First Density R1(3) Zone

15.6.4

- a) Defined area (379 Ontario Street – By-law 136-2021)
MUR-4 as shown on Schedule “A”, Map 5
- b) Permitted use
 - Hobby shop
 - All other uses permitted in the MUR zone
- c) Definition:
 - For the purposes of the defined area, the following shall apply:
 - i. Hobby shop means an area of a building in which video games, card games, board games, or similar products are offered for sale
- d) Maximum floor area permitted for a hobby shop: 61m²
- e) Minimum lot area: 500m²
- f) Minimum lot frontage
 - Interior lot: 15m
 - Corner lot: 18m
- g) Minimum lot depth: 30m
- h) Minimum setback: 7.5m
- i) Minimum side yard width: 1.5m
- j) Minimum rear yard depth: 6.0m

SECTION 15.0

ZONE EXCEPTIONS

- k) Maximum lot coverage: 40%
- l) Maximum building height: 10m
- m) Minimum landscaped open space: 30%
- n) Accessory buildings and structures
 - Maximum lot coverage: 10%
 - Maximum floor area: 100m²
 - Maximum height: one (1) storey or 5.0m, whichever is lesser
 - Maximum height of an exterior wall: 3.0m
- o) Special use regulations
 - A hobby shop is restricted to the ground floor only
 - A business office, commercial school, personal care establishment, private school, professional office, studio shall be restricted to an existing dwelling which shall contain at least one (1) dwelling unit, not change the external character of the dwelling as a residence, shall not use the front yard or exterior side yard for parking, other than a driveway and shall be restricted to the ground floor only
- p) Inn
 - Permitted buildings: existing
- q) Existing single detached dwellings
 - The erection of single detached dwellings and the alteration of existing single detached dwellings and the erection or alteration of buildings accessory thereto shall be permitted in accordance with the regulations of Residential First Density R1(3) Zone

SECTION 15.0

ZONE EXCEPTIONS

15.7 Neighbourhood Commercial (C1) Zone

15.7.1

a) Defined area (250 Graff Avenue – By-law 108-2006)
C1-1 as shown on Schedule “A”, Map 3

b) Permitted use

- Business office
- Clinic
- Fitness club
- Merchandise rental establishment
- Professional office
- Retail store
- Veterinarian clinic
- All uses permitted in the C1 zone

c) Maximum gross floor area: 1300m²

d) Maximum unit size: 330m²

15.7.2

a) Defined area (30 Queensland Road)
C1-2 as shown on Schedule “A”, Map 4

b) Permitted use

- Supermarket
- Business office
- Butcher shop
- Car wash
- Clinic

SECTION 15.0

ZONE EXCEPTIONS

- Day care centre
 - Financial institution
 - Fitness club
 - Merchandise rental store
 - Merchandise service shop
 - Professional office
 - Public use
 - Retail store
 - Veterinarian clinic
 - All uses permitted in the C1 zone
- c) Maximum gross floor area of any use
- Supermarket: 4530m²
 - Other uses: 300m²
- d) Maximum gross floor area: 5500m²
- e) Minimum landscaped open space: 17%
- f) Setback from Queensland Road for parking: 7.5m

15.7.3

- a) Defined area (581 Downie Street)
C1-3 as shown on Schedule "A", Map 9
- b) Permitted use
- Supermarket
 - All uses permitted in the C1 zone
- c) Maximum gross floor area of any one (1) use
- Supermarket: 1520m²

SECTION 15.0

ZONE EXCEPTIONS

- All other uses: 300m²

d) Maximum gross floor area: 1520m²

SECTION 15.0

ZONE EXCEPTIONS

15.8 Highway Commercial (C2) Zone

15.8.1

a) Defined area (472 Erie Street – By-law 32-2014)
C2-1 as shown on Schedule “A”, Map 4

b) Permitted use

- Bed and breakfast
- Boarding house dwelling
- Clinic
- Commercial school
- Convenience store
- Converted dwelling
- Day care centre
- Dwelling unit
- Funeral home
- Group home
- Home occupation
- Laundromat
- Motor vehicle sales or rental establishment
- Motor vehicle repair shop
- Nursing home
- Personal care establishment
- Personal service establishment
- Place of worship

SECTION 15.0

ZONE EXCEPTIONS

- Professional office
 - Retirement home
 - Service trade
 - Studio
- c) Minimum side yard width: 2.5m or one-half the height of the building, whichever is greater
- d) Minimum rear yard depth: 6.0m
- e) Dwelling units
- Dwelling units shall be located in a building containing a permitted non-residential use other than an automotive use

15.8.2

- a) Defined area (925 Mornington Street)
C2-2 as shown on Schedule "A", Map 3
- b) Permitted use
- Merchandise rental shop
 - Merchandise service shop
 - Motor vehicle repair
 - Motor vehicle service station
 - Recreational vehicle sales or rental establishment
 - Service trade

15.8.3

- a) Defined area (700 O'Loane Avenue)
C2-3 as shown on Schedule "A", Map 1
- b) Permitted use
- Business office
 - Clinic

SECTION 15.0

ZONE EXCEPTIONS

- Professional office

15.8.4

a) Defined area (342 Erie Street & 311 Church Street)
C2-4 as shown on Schedule "A", Map 4

b) Permitted use

- Auditorium
- Business office
- Clinic
- Commercial School
- Hotel
- Laboratory
- Library
- Personal care establishment
- Personal service establishment
- Pharmacy
- Place of worship
- Private club
- Professional office
- Eat-in restaurant
- Service trade
- School
- Tavern

15.8.5

a) Defined area (Whyte Avenue and both sides of Erie Street between West

SECTION 15.0

ZONE EXCEPTIONS

Gore Street and Corcoran Street)
C2-5 as shown on Schedule "A", Map 4
C2-5 as shown on Schedule "A", Map 8

b) Permitted use

- Bed and breakfast
- Boarding house dwelling
- Clinic
- Commercial school
- Convenience store
- Converted dwelling
- Day care centre
- Dwelling unit
- Funeral home
- Group home
- Home occupation
- Laundromat
- Nursing home
- Personal care establishment
- Personal service establishment
- Professional office
- Place of worship
- Retirement home
- Service trade
- Studio

SECTION 15.0

ZONE EXCEPTIONS

c) Minimum side yard width

- Converted dwelling: 2.5m or one-half the height of the building, whichever is the greater

d) Minimum rear yard depth: 6.0m

e) Dwelling units

- Dwelling units shall be located in a building containing a permitted non-residential use other than an automotive use

15.8.6

a) Defined area (northwest corner of Mornington Street and Perth Line 36)
C2-6 as shown on Schedule "A", Map 2

b) Permitted use

- Motor vehicle sales or rental establishment
- Carpentry shop/woodworking business
- Accessory uses, excluding any accessory residential use

c) Maximum gross floor area: 200m² (carpentry shop/woodworking business)

d) Outdoor storage: outdoor storage of materials or goods shall not be permitted

15.8.7

a) Defined area (45 & 89 Parkview Drive)
C2-7 as shown on Schedule "A", Map 5

b) Permitted use

- Auditorium
- Eat-in restaurant
- Professional office
- Apartment building

SECTION 15.0

ZONE EXCEPTIONS

- Hotel
 - Theatre
 - Business office
 - Private club
 - Spa
 - Fitness club
 - Retail store
 - Personal care establishment
 - Personal service establishment
 - Clinic
 - Tavern
- c) Maximum gross floor area: 1000m² (all retail stores combined)
- d) Special use regulations
- For the purposes of the defined area, a spa, fitness club, retail store (maximum gross floor area all retail stores combined 1000m²), personal care establishment, personal service establishment or clinic shall:
 - i. Be restricted to a building(s) that also contains accommodation facilities and/or apartments
- e) Minimum front yard depth: 7.5m
- f) Minimum side yard width
- West side: 10m
 - East side: 5m
- g) Minimum rear yard depth: 7.5m
- h) Aggregate side yard width: 15m

SECTION 15.0

ZONE EXCEPTIONS

- i) Maximum lot coverage: 55%
- j) Maximum building height
 - Set back 36m from any property line: 20m
 - At theatre fly tower set back 25m, from property line: 20m
 - All other locations: 16m
- k) Maximum density: 100uph

15.8.8

- a) Defined area (550 Ontario Street)
C2-8 as shown on Schedule "A", Map 5
- b) Permitted use
 - Hotel
- c) Maximum building height: 15m
- d) Planting strip
 - Notwithstanding Section 4.21 (Planting Strip), no planting strip shall be required along the common lot line shared with 170 Romeo Street South (Concession 1, Part Lot 46, Registered Plan 44R-2018)

15.8.9

- a) Not defined

15.8.10

- a) Defined area (670 Ontario Street – By-law 115-2010)
C2-10 as shown on Schedule "A", Map 6
- b) Permitted use
 - Business office
 - Clinic
 - Convenience store (excluding the retailing of food products)

SECTION 15.0

ZONE EXCEPTIONS

- Dry cleaning establishment
- Eat-in or take-out restaurant
- Fitness club
- Hotel
- Large merchandise outlet
- Laundromat
- Merchandise rental store
- Personal care establishment
- Personal service establishment
- Private club
- Professional office

15.8.11

a) Defined area (684 Ontario Street – By-law 62-2007)
C2-11 as shown on Schedule “A”, Map 6

b) Permitted use

- All uses permitted in the C2 zone

c) Maximum building height: one storey or 10.0m, whichever is the lesser

d) Minimum rear yard depth: 12m

15.8.12

a) Defined area (west side of Mornington Street, north of Perth Line 36)
C2-12 as shown on Schedule “A”, Map 2

b) Permitted use

- Business office
- Clinic
- Financial Institution

SECTION 15.0

ZONE EXCEPTIONS

- Funeral home
- Hotel
- Motor vehicle repair shop
- Motor vehicle sales or rental establishment
- Motor vehicle service station
- Personal service establishment
- Professional office
- Restaurant
- Retail Store

15.8.13

a) Defined area (714 Ontario Street)
C2-13 as shown on Schedule "A", Map 6

b) Permitted use

- Business office
- Clinic
- Convenience store
- Dry cleaning establishment
- Eat-in or take-out restaurant
- Gas bar
- Laundromat
- Merchandise rental store
- Personal care establishment
- Personal service establishment
- Professional office

SECTION 15.0

ZONE EXCEPTIONS

- Service trade

15.8.14

- a) Defined area (770 Downie Street)
C2-14 as shown on Schedule "A", Map 8

b) Permitted use

- One dwelling unit in a building containing a permitted use, provided such unit is occupied by the owner or an employee of the permitted use
- All uses permitted in the C2 zone with the exception of a gas bar and a motor vehicle service station

15.8.15

- a) Defined area (650, 660 and 680 Huron Street)
C2-15 as shown on Schedule "A", Map 1

b) Permitted use

- Garden centre
- Nursery establishment
- Commercial greenhouses
- Retail store
- One single-detached dwelling

15.8.16

- a) Defined area (20 Monteith Avenue)
C2-16 as shown on Schedule "A", Map 4

b) Permitted use

- Boarding house dwelling
- Business office
- Clinic
- Commercial school

SECTION 15.0

ZONE EXCEPTIONS

- Contractor's yard or shop
- Day care centre
- Dry cleaning establishment
- Equipment service establishment
- Factory store
- Financial institution
- Fitness club
- Food processing establishment
- Garden centre
- Industrial use
- Laundromat
- Merchandise service shop
- Personal care establishment
- Private club
- Professional office
- Public use
- Recreational vehicle sales or rental establishment
- Retail store
- Service trade
- Veterinarian clinic
- Warehouse

c) Open storage

- Open storage shall be permitted for dry cleaning establishment,

SECTION 15.0

ZONE EXCEPTIONS

veterinarian clinic, contractors' yard or shop, equipment service establishment, food processing establishment, industrial use and warehouse provided it is accessory to a main use and is screened from any street or abutting lot by a solid fence

- d) Minimum solid fence setback from Church Street: 1.8m
- e) Minimum solid fence setback from Monteith Avenue: 1.6m

15.8.17

- a) Defined area (618, 630, 640 Huron Street and 685 O'Loane Avenue – By-law 26-2012, OMB Decision)
C2-17 as shown on Schedule "A", Map 1

- b) Permitted use

- All uses permitted in the C2 zone

- c) Minimum front yard setback: 3.0m
- d) Minimum exterior side yard setback to a supermarket: 23.7m
- e) Minimum rear yard setback: 2.5m
- f) Minimum front and exterior side yard setback for parking aisles and parking area: 3.0m
- g) Maximum ground floor area of supermarket: 2694m²
- h) Maximum floor area of supermarket mezzanine: 186m²
- i) Maximum gross floor area of retail building: 465m²

15.8.18

- a) Defined area (388 Downie Street and 11 Kent Lane – By-law 123-2015)
C2-18 as shown on Schedule "A", Map 8
- b) Minimum setback, Downie Street: 0m
- c) Minimum setback, Kent Lane: 0.5m
- d) Minimum landscaped open space: 10%
- e) Maximum building height: 16m

SECTION 15.0

ZONE EXCEPTIONS

- f) Minimum off-street loading spaces: 0
- g) Minimum parking space length: 5.5m
- h) Minimum parking spaces
 - Per dwelling unit: 1
 - Net commercial floor area: 40m²
- i) Minimum setback to a parking area or parking aisle
 - Kent lane: 2.0m
- j) Maximum lot coverage: 40%

15.8.19

- a) Defined area (217-219 Erie Street – By-law 141-2012)
C2-19 as shown on Schedule “A”, Map 51
- b) Permitted use
 - One residential unit located in a building containing a motor vehicle repair shop
 - All other uses permitted in the C2 zone

SECTION 15.0

ZONE EXCEPTIONS

15.9 Central Commercial (C3) Zone

15.9.1

- a) Defined area (11 Cobourg Street)
C3-1 as shown on Schedule "A", Map 5
- b) Permitted use
 - Two (2) dwelling units on the ground floor of a building, which ground floor also contains a permitted non-residence
 - All uses permitted in the C3 zone
- c) Minimum setback
 - In accordance with the C3 regulations, except for uncovered ramp and landings providing access between finished grade and the commercial main floor level which may be erected within the required setback
- d) Maximum building height: 25m
- e) Minimum number of parking spaces: 28

15.9.2

- a) Defined area (116 Downie Street – By-law 22-2016)
C3-2 as shown on Schedule "A", Map 5
- b) Permitted use
 - One dwelling unit on the ground floor at the rear of the existing building
 - All other uses permitted in the C3 zone

15.9.3

- a) Defined area (180 Erie Street)
C3-3 as shown on Schedule "A", Map 5
- b) Permitted use
 - Car wash
 - Gas bar

SECTION 15.0

ZONE EXCEPTIONS

- All uses permitted in the C3 zone
- c) Gas bar
- A pump island, kiosk, and/or canopy accessory to a gas bar shall be permitted in any part of a required front yard or side yard provided:
 - i. The minimum distance between any portion of a gasoline pump island or any kiosk and a lot line or widened street line shall be 5.0m;
 - ii. The minimum distance between any column supporting a canopy and a lot line or widened street line shall be 3.0m;
 - iii. In the case of a corner lot, no portion of any gasoline pump island or kiosk shall be located closer than 3.0m to a visibility triangle; and
 - iv. No part of any canopy shall be located in a required visibility triangle.

15.9.4

- a) Defined area (144 Downie Street – By-law 49-2014)
C3-4 as shown on Schedule “A”, Map 5
- b) Permitted use
 - Brewery
 - All other uses permitted in the C3 zone

15.9.5

- a) Defined area (30 Rebecca Street)
C3-5 as shown on Schedule “A”, Map 5
- b) Maximum gross floor area: 360m²
- c) Minimum number of required parking spaces: 7

15.9.6

- a) Defined area (114 Erie Street – By-law 92-2011)
C3-6 as shown on Schedule “A”, Map 5

SECTION 15.0

ZONE EXCEPTIONS

b) Permitted use

- Brewery
- All other uses permitted in the C3 zone

15.9.7

a) Defined area (203 and 209 Waterloo Street South – By-law 99-2013) C3-7 as shown on Schedule “A”, Map 5

b) Permitted use

- Dwelling units on the ground floor without a commercial use
- All uses permitted in the C3 zone

c) Notwithstanding Section 4.26 (Setbacks), the road allowance width for Waterloo Street South is 11.5m from centreline of the arterial road

d) Minimum parking spaces per dwelling unit: 0.55

e) On-site parking, off-site parking in a Site Plan Agreement and cash in lieu of parking to be provided to an amount equal to 1 space per dwelling unit

15.9.8

a) Defined area (19-21 Market Place) C3-8 as shown on Schedule “A”, Map 5

b) Permitted use

- Brewery
- All uses permitted in the C3 zone

c) Maximum floor area, brewery: 180m²

15.9.9

a) Defined area (245 Downie Street – By-law 57-2018) C3-9 as shown on Schedule “A”, Map 5

b) Permitted use

- Residential dwelling units within the basement and main floor

SECTION 15.0

ZONE EXCEPTIONS

- All other uses permitted in the C3 zone
- c) Minimum front yard setback for a stoop, porch and stairs: 0m

15.9.10

- a) Defined area (34 Brunswick Street – By-law 79-2021)
C3-10 as shown on Schedule “A”, Map 5
- b) Permitted use
 - Brew pub
 - All other uses permitted in the C3 zone
- c) The floor area devoted to the production of beer is not to exceed 35% of the total floor area of the brew pub

SECTION 15.0

ZONE EXCEPTIONS

15.10 Shopping Centre Commercial (C4) Zone

15.10.1

- a) Defined area (865 Ontario Street)
C4-1 as shown on Schedule "A", Map 6
- b) Permitted use
 - Business office
 - Clinic
 - Financial institution
 - Gas bar
 - Garden centre
 - Liquor licensed establishment
 - Professional office
 - Recreational entertainment establishment
 - Restaurant
 - Retail store
 - Supermarket
 - Veterinarian clinic
- c) Maximum floor area
 - Gas bar kiosk: 31m²
 - The combined floor area for a business office, clinic, financial institution, liquor licensed establishment, professional office, recreational entertainment establishment, restaurant, retail store, and veterinarian clinic shall not exceed 1000m²
- d) Special use regulations
 - A garden centre shall be permitted provided it is ancillary to a main

SECTION 15.0

ZONE EXCEPTIONS

permitted use

15.10.2

- a) Defined area (5.43 hectares of 581 Huron Street lands – By-law 136-2012, OMB Decision)
C4-2 as shown on Schedule “A”, Map 1
- b) Setbacks
 - The minimum setback to Huron Street shall be 2.0m
 - The minimum setback to O’Loane Avenue shall be 2.0m
- c) The following use and floor space restrictions apply
 - The overall gross floor area of the development in the C4-2 zone shall not exceed 13,000 m² (140,000 square feet) which includes one supermarket store that occupies a maximum gross floor area of 4,630 m² (49,850 square feet) and other retail and service uses permitted by the zoning by-law, as well as office uses
- d) Despite any existing or future severance, partition, or division of the lot, the provisions of this By-law shall apply to the whole of the lot as if no severance, partition or division occurred

15.10.3

- a) Defined area (1067 Ontario Street)
C4-3 as shown on Schedule “A”, Map 6
- b) Permitted use
 - Auction sales establishment
 - Auditorium
 - Brewery
 - Brew pub
 - Clinic
 - Commercial school
 - Dwelling units above the ground level (located in a building

SECTION 15.0

ZONE EXCEPTIONS

containing a permitted non-residential use other than an automotive use)

- Laundromat
- Private school
- Place of worship
- Retirement home (located in a building containing a permitted non-residential use other than an automotive use)
- Scientific or medical laboratory
- Self-storage establishment
- Warehouse
- All other uses permitted in the C4 zone

c) Parking regulations

- Self-storage establishment: 1 per 150m² of net floor area
- Brew pub: 1 per 4 persons seating capacity

d) Special use regulations

- The maximum floor area of manufacturing associated with a scientific or medical laboratory is 500m²
- The warehouse and self-storage establishment shall have a maximum combined floor area of 7500m²
- No storage of any hazardous, toxic or contaminated materials is permitted
- No outdoor storage of goods, materials or equipment is permitted. This shall not prevent the display of goods or materials for retail purposes
- Notwithstanding Section 2.3 the lands zoned C4-3 and C4-4 shall be considered one lot
- The brewery is permitted to have a maximum floor area of 929m²

SECTION 15.0

ZONE EXCEPTIONS

- The retirement home and dwelling units shall have a maximum density of 65 units per net hectare
 - Within a brew pub, the floor area devoted to the production of beer is not to exceed 35% or 185m² (whichever is the lesser) of the total floor area of the brew pub
- e) Minimum separation distances
- A brewery (with a maximum floor area of 465 m²), self-storage establishment, scientific or medical laboratory and warehouse is to have a minimum separation distance of 20m between a dwelling unit, retirement home, place of worship, day care centre or private school (measured in a straight line from the nearest part of the building or structure containing the uses) on any lands zoned C4-3 or C4-4

15.10.4

- a) Defined area (1067 Ontario Street)
C4-4 as shown on Schedule "A", Map 6
- b) Permitted use
- Auction sales establishment
 - Auditorium
 - Brew pub
 - Clinic
 - Commercial school
 - Dwelling units above the ground level (located in a building containing a permitted non-residential use other than an automotive use)
 - Laundromat
 - Private school
 - Place of worship
 - Retirement home (located in a building containing a permitted non-

SECTION 15.0

ZONE EXCEPTIONS

residential use other than an automotive use)

- All other uses permitted in the C4 zone

c) Parking regulations

- Brew pub: 1 per 4 persons seating capacity

d) Special use regulations

- Notwithstanding Section 2.3 the lands zoned C4-3 and C4-4 shall be considered one lot
- The retirement home and dwelling units shall have a maximum density of 65 units per net hectare
- Within a brew pub, the floor area devoted to the production of beer is not to exceed 35% or 185m² (whichever is the lesser) of the total floor area of the brew pub

e) Minimum separation distances

- A brewery (with a maximum floor area of 465 m²), self-storage establishment, scientific or medical laboratory and warehouse is to have a minimum separation distance of 20m between a dwelling unit, retirement home, place of worship, day care centre or private school (measured in a straight line from the nearest part of the building or structure containing the uses) on any lands zoned C4-3 or C4-4

SECTION 15.0

ZONE EXCEPTIONS

15.11 Corridor Commercial (C5) Zone

None

SECTION 15.0

ZONE EXCEPTIONS

15.12 Grand Trunk Anchor District (AD) Zone

None

SECTION 15.0

ZONE EXCEPTIONS

15.13 Prime Industrial (I1) Zone

15.13.1

- a) Defined area (1041 Erie Street)
I1-1 as shown on Schedule "A", Map 7
- b) Permitted use
 - Car wash
 - Gas bar
 - Motor vehicle body shop
 - Motor vehicle repair shop
 - Service trade
 - Restaurant with a drive thru
- c) Minimum setback from Erie Street
 - Main building: 13.8m
 - Canopy: 2.3m
- d) Minimum gross floor area
 - Main building: 385m²

15.13.2

- a) Defined area (945 Erie Street, 863 Erie Street – Amended by By-law 110-2006)
I1-2 as shown on Schedule "A", Map 7
- b) Permitted use
 - Motor vehicle sales or rental establishment
 - All other uses permitted in the I1 zone

15.13.3

- a) Defined area (1030 Erie Street – By-law 98-2015)
I1-3 as shown on Schedule "A", Map 7

SECTION 15.0

ZONE EXCEPTIONS

b) Permitted use

- Professional office within the existing building
- Clinic within the existing building
- All other uses in the I1 zone

c) Maximum gross floor area

- Professional office or clinic: 1208m²

15.13.4

- a) Defined area (south side of Lorne Avenue, east of Freeland Drive – By-law 197-2007)
I1-4 as shown on Schedule “A”, Map 7

b) Permitted use

- Business office
- Clinic
- Commercial school
- Day care centre located within an industrial building
- Dry cleaning establishment
- Fitness club located within an industrial building
- Food processing establishment save and except for slaughtering operation
- Garden centre
- Professional office
- Private club
- Restaurant located within an industrial building
- Service trade
- All other uses permitted in the I1 zone

SECTION 15.0

ZONE EXCEPTIONS

15.13.5

- a) Defined area (south side of Lorne Avenue, west of Freeland Drive)
I1-5 as shown on Schedule "A", Map 7
- b) Permitted use
 - Day care centre located within an industrial building
 - Clinic
 - Fitness club located within an industrial building
 - Food processing establishment save and except for slaughtering operation
 - Motor vehicle service station
 - Private club
 - Professional office
 - All other uses permitted in the I1 zone

SECTION 15.0

ZONE EXCEPTIONS

15.14 General Industrial (I2) Zone

15.14.1

- a) Defined area (36 Jarvis Street)
I2-1 as shown on Schedule "A", Map 4
- b) Permitted use
 - Open storage as a main permitted use
 - All other uses permitted in the I2 zone

15.14.2

- a) Defined area (706 Lorne Avenue East)
I2-2 as shown on Schedule "A", Map 9
- b) Permitted use
 - Salvage yard
 - All other uses permitted in the I2 zone

15.14.3

- a) Defined area (320 Home Street)
I2-3 as shown on Schedule "A", Map 8
- b) Permitted use
 - One dwelling unit in a building containing a permitted use, provided such unit is occupied by the owner or an employee of the permitted use
 - All uses permitted in the I2 zone

15.14.4

- a) Defined area (20 Park Street)
I2-4 as shown on Schedule "A", Map 9
- b) Permitted use
 - Sanitary landfill site

SECTION 15.0

ZONE EXCEPTIONS

15.14.5

a) Defined area (603 Romeo Street – By-law 64-2012)
I2-5 as shown on Schedule “A”, Map 9

b) Permitted use

- Business office
- Clinic
- Fitness club
- Professional office
- All uses permitted in the I2 zone

15.14.6

a) Defined area (285-291 Lorne Avenue and 18 Griffith Road – By-law 28-2007)
I2-6 as shown on Schedule “A”, Map 8

b) Permitted use

- Business office
- Clinic
- Professional office
- All uses permitted in the I2 zone

15.14.7

a) Defined area (east side of Erie Street between Lorne Avenue and Crane Avenue – By-law 155-2012)
I2-7 as shown on Schedule “A”, Map 7

b) Permitted use

- Financial institution
- Motor vehicle repair shop
- Restaurant

SECTION 15.0

ZONE EXCEPTIONS

- All other uses in the I2 zone
- c) Minimum lot area: 2000m²
- d) Minimum lot frontage: 30.0m
- e) Minimum rear yard: 7.5m
- f) Maximum building height: 8.0m
- g) Maximum lot coverage: 35%
- h) Minimum landscaped open space: 20%

15.14.8

- a) Defined area (65 Lorne Avenue and part of Phase 1 of the Erie Industrial Park – Amended by By-law 129-2006)
I2-8 as shown on Schedule “A”, Map 7
- b) Permitted use
 - Business office
 - All uses permitted in the I2 zone

15.14.9

- a) Defined area (east side of Erie Street, south of Lorne Avenue)
I2-9 as shown on Schedule “A”, Map 7
- b) Permitted use
 - Business office of a consulting engineer or surveyor
 - Car wash
 - Commercial school
 - Data centre
 - Dry cleaning establishment
 - Equipment service establishment
 - Factory store

SECTION 15.0

ZONE EXCEPTIONS

- Food processing establishment
- Industrial use
- Motor vehicle repair shop
- Motor vehicle sales or rental establishment
- Motor vehicle service station
- Private club
- Scientific or medical laboratory
- Recreational park
- Veterinarian clinic
- Warehouse

15.14.10

- a) Defined area (east of Downie Road 111, south of Lorne Avenue – By-law 197-2007)
I2-10 as shown on Schedule “A”, Map 9

b) Permitted use

- Single detached dwellings, existing
- All other uses permitted in the I2 zone

15.14.11

- a) Defined area (472 Lorne Avenue)
I2-11 as shown on Schedule “A”, Map 8

b) Permitted use

- Floor and window covering outlet
- All other uses permitted in the I2 zone

SECTION 15.0

ZONE EXCEPTIONS

15.14.12

a) Defined area (315 Front Street – By-law 81-2009)
I2-12 as shown on Schedule “A”, Map 5

b) Permitted use

- Business office
- Clinic
- Professional office
- Studio
- Service trade
- Fitness club
- Retail store
- Personal care establishment
- Personal service establishment
- Merchandise rental store
- All other uses permitted in the I2 zone

15.14.13

a) Defined area (639 Lorne Avenue)
I2-13 as shown on Schedule “A”, Map 8

b) Permitted use

- Business office of an incorporated not for profit organization
- All other uses permitted in the I2 zone

15.14.14

a) Defined area (north side of Crane Avenue, west of Erie Street – By-law 91-2006)
I2-14 as shown on Schedule “A”, Map 7

b) Required setback from Crane Avenue: 7.5m

SECTION 15.0

ZONE EXCEPTIONS

- c) All other existing general use regulations

15.14.15

- a) Defined area (lands south of Lorne Avenue and east of Erie Street – By-laws 129-2006, 117-2009)
I2-15 as shown on Schedule “A”, Map 7

- b) Permitted use

- Professional office
- Business office
- Clinic
- All uses permitted in the I2 zone

15.14.16

- a) Defined area (324 Burritt Street – By-law 132-2007)
I2-16 as shown on Schedule “A”, Map 6

- b) Permitted use

- Business office in the existing building
- All other uses permitted in the I2 zone

- c) Maximum floor area for business office in existing building: 929m²

15.14.17

- a) Defined area (south of Griffith Road West – By-law 197-2007)
I2-17 as shown on Schedule “A”, Map 8

- b) Permitted use

- Adult entertainment establishment
- Building materials yard
- Contractor’s yard or shop
- Data centre
- Dwelling unit as an accessory use

SECTION 15.0

ZONE EXCEPTIONS

- Equipment rental establishment
- Equipment service establishment
- Factory store
- Food processing establishment
- Fuel storage depot
- Industrial use
- Motor vehicle body shop
- Motor vehicle repair shop
- Public use
- Scientific or medical laboratory
- Truck terminal
- warehouse

15.14.18

a) Defined area (309 Lorne Avenue East – By-law 91-2008)
I2-18 as shown on Schedule “A”, Map 8

b) Permitted use

- Business office
- Clinic
- Professional office
- Retail sales as an accessory use to a contractor’s yard or shop
- All other uses permitted in the I2 zone

15.14.19

a) Defined area (225 Oak Street – By-law 101-2008)
I2-19 as shown on Schedule “A”, Map 8

b) Permitted use

SECTION 15.0

ZONE EXCEPTIONS

- Clinic
- Professional office
- All other uses permitted in the I2 zone

15.14.20

- a) Defined area (south of Lorne Avenue West, west of Wright Boulevard – By-law 197-2007)
I2-20 as shown on Schedule “A”, Map 7

b) Permitted use

- Clinic
- Food processing establishment save and except for slaughtering operation
- Industrial mall
- Professional office
- Recreational park
- Restaurant located within an industrial building
- Service trade
- All other uses permitted in the I2 zone

15.14.21

- a) Defined area (863-897 Erie Street – By-law 113-2014)
I2-21 as shown on Schedule “A”, Map 7

b) Permitted use

- Amusement arcade establishment
- Animal shelter
- Auction sales establishment
- Building materials yard

SECTION 15.0

ZONE EXCEPTIONS

- Business office of a consulting engineer or surveyor
- Car wash
- Commercial school
- Contractor's yard or shop
- Data centre
- Dwelling unit as an accessory use
- Dry cleaning establishment
- Equipment rental establishment
- Factory store
- Agricultural equipment sales or rental establishment
- Food processing establishment
- Garden centre
- Industrial use
- Motor vehicle body shop
- Motor vehicle repair shop
- Motor vehicle sales or rental establishment
- Motor vehicle service station
- Private club
- Scientific or medical laboratory
- Recreational vehicle sales or rental establishment
- Truck terminal
- Veterinarian clinic
- Warehouse

SECTION 15.0

ZONE EXCEPTIONS

- c) Minimum width of planting strip along Erie Street: 5m

15.14.22

- a) Defined area (Wright Boulevard, south of Packham Avenue – By-laws 154-2009, 116-2010)
I2-22 as shown on Schedule “A”, Map 7
- b) Permitted use
- Business office
 - Clinic
 - Commercial school
 - Day care centre located within an industrial building
 - Fitness club located within an industrial building
 - Food processing establishment save and except for slaughtering operation
 - Professional office
 - Restaurant located within an industrial building
 - Service trade
 - All other uses permitted in the I2 zone
- c) Minimum front yard setback: 7.5m

15.14.23

- a) Defined area (617 Douro Street – By-law 59-2011)
I2-23 as shown on Schedule “A”, Map 6
- b) Permitted use
- Business office
 - Clinic
 - Professional office

SECTION 15.0

ZONE EXCEPTIONS

- Studio
- All other uses permitted in the I2 zone

15.14.24

a) Defined area (612 Erie Street – By-law 112-2011)
I2-24 as shown on Schedule “A”, Map 4

b) Permitted use

- Community food centre
- All other uses permitted in the I2 zone

c) Definition

- For the purposes of the defined area, the following shall apply:
 - i. Community food centre means a building used without profit or gain for such community purposes as drop in meals, food storage and distribution for local food banks, community gardens and educational programs

15.14.25

a) Defined area (678 Erie Street – By-law 100-2013)
I2-25 as shown on Schedule “A”, Map 7

b) Permitted use

- Amusement arcade establishment
- Animal shelter
- Carwash
- Commercial school
- Dry cleaning establishment
- Dwelling unit as an accessory use
- Farm equipment sales or rental establishment
- Financial institution

SECTION 15.0

ZONE EXCEPTIONS

- Garden centre
 - Motor vehicle repair shop
 - Motor vehicle sales or rental establishment
 - Motor vehicle service station
 - Private club
 - Recreational park
 - Recreational vehicle sales or rental establishment
 - Restaurant
 - All uses permitted in the I2 zone
- c) Minimum lot area: 2000m²
- d) Minimum lot frontage: 30m
- e) Minimum front yard depth: 12m
- f) Minimum rear yard: 7.5m
- g) Maximum building height: 8m
- h) Maximum lot coverage: 35%
- i) Minimum landscaped open space: 20%
- j) Maximum floor area of individual restaurant uses: 740m²
- k) Maximum parking between building and road allowance excluding parking behind a building: 1 row

15.14.26

- a) Defined area (northeast corner of Romeo Street South and Douro Street – By-law 71-2014)
I2-26 as shown on Schedule “A”, Map 6
- b) Permitted use
- Building office

SECTION 15.0

ZONE EXCEPTIONS

- Clinic
 - Financial Institution
 - Personal services establishment
 - Professional office
 - Restaurant
 - Retail
- c) Setbacks
- The minimum setback to Romeo Street South shall be 3.0m
- d) Maximum gross floor area of all retail uses within this zone: 929m²
- e) Maximum floor area of individual restaurant uses: 740m²
- f) Maximum floor area of office uses and clinic in I2-26 and I2-27 zone: 3500m²

15.14.27

- a) Defined area (north side of Douro Street between Romeo Street South and Burritt Street – By-law 71-2014)
I2-27 as shown on Schedule “A”, Map 6
- b) Permitted use
- Building office
 - Clinic
 - Professional office
 - All uses permitted in the I2 zone
- c) Maximum floor area of office uses and clinic in I2-26 and I2-27 zone: 3500m²

15.14.28

- a) Defined area (976 Erie Street and 70 Packham Avenue – By-law 113-2014)

SECTION 15.0

ZONE EXCEPTIONS

I2-28 as shown on Schedule "A", Map 7

b) Permitted use

- Amusement arcade establishment
- Animal kennel
- Animal shelter
- Auction sales establishment
- Building materials yard
- Business office of a consulting engineer or surveyor
- Car wash
- Commercial school
- Contractor's yard or shop
- Data centre
- Dwelling unit as an accessory use
- Dry cleaning establishment
- Equipment rental establishment
- Equipment service establishment
- Factory store
- Farm equipment sales or rental establishment
- Food processing establishment
- Garden centre
- Industrial use
- Motor vehicle body shop
- Motor vehicle repair shop

SECTION 15.0

ZONE EXCEPTIONS

- Motor vehicle sales or rental establishment
 - Motor vehicle service station
 - Private club
 - Scientific or medical laboratory
 - Recreational park
 - Recreational vehicle sales or rental establishment
 - Truck terminal
 - Veterinarian clinic
 - Warehouse
- c) Minimum width of planting strip, Erie Street: 5m
- d) Minimum setback, Erie Street: 14m

15.14.29

- a) Defined area (485 Romeo Street North – By-law 70-2015)
I2-29 as shown on Schedule “A”, Map 9
- b) Permitted use
- Clinic (maximum of 1 unit)
 - Convenience store (maximum of 1 business)
 - Financial institution (maximum of 1 business)
 - Personal care establishment (maximum of 2 businesses)
 - Personal service establishment (maximum of 2 businesses)
 - Professional office (maximum of 1 unit)
 - Restaurant
 - All other uses in the I2 zone
- c) Maximum combined gross floor area of any combination of clinic,

SECTION 15.0

ZONE EXCEPTIONS

convenience store, financial institution, personal care establishment, personal service establishment, professional office and restaurant: 575m²

d) Maximum gross floor area

- Convenience store: 185m²
- Financial institution: 300m²
- Personal care establishments: 300m²
- Personal service establishments: 300m²
- Restaurant: 300m²

e) Prohibited use

- Drive-thru restaurant
- Day care centre
- Any patio associated with a restaurant

15.14.30

a) Defined area (45 Cambria Street – By-law 74-2019)
I2-30 as shown on Schedule “A”, Map 8

b) Permitted use

- Business office
- Contractor’s yard or shop
- Dwelling unit as an accessory use
- Eat-in or take-out restaurant
- Factory store
- Food processing establishment
- Industrial use
- Personal care establishment

SECTION 15.0

ZONE EXCEPTIONS

- Personal service establishment
 - Private club, professional office
 - Veterinary clinic
 - Warehouse
- c) Maximum setback to a parking area or parking aisle, West Gore Street: 2.7m
- d) Maximum size of a restaurant at 45 Cambria Street (excluding space dedicated to permitted industrial use or a food processing establishment): 350m²
- e) Maximum size of all restaurants at 45 Cambria Street (excluding space dedicated to permitted industrial use or a food processing establishment): 500m²
- f) The required parking space for any restaurant use shall not include square footage of a dedicated permitted industrial use or a food processing establishment

15.14.31

- a) Defined area (677 Erie Street – southeast corner of Lorne Avenue and Erie Street)
I2-31 as shown on Schedule “A”, Map 7
- b) Permitted use
- Business office of a consulting engineer or surveyor
 - Car wash
 - Commercial school
 - Convenience store
 - Data centre
 - Dry cleaning establishment
 - Eat-in restaurant

SECTION 15.0

ZONE EXCEPTIONS

- Equipment service establishment
 - Factory store
 - Food processing establishment
 - Gas bar
 - Industrial use
 - Motor vehicle repair shop
 - Motor vehicle sales or rental establishment
 - Motor vehicle service station
 - Private club
 - Public use
 - Scientific or medical laboratory
 - Recreational park
 - Veterinary clinic
 - Warehouse
- c) Maximum gross floor area of an eat-in restaurant: 223m²
- d) Parking regulations
- Eat-in restaurant: 1 per 4 persons seating capacity. Where the required parking spaces are based upon the seating or other capacity of a building or structure, such capacity shall be deemed to be the same as the maximum capacity for such building or structure permitted by the Ontario Building Code, or, where applicable, the Liquor Licensing Board of Ontario, whichever capacity is the greater.
- e) Each drive through stacking lane shall be a minimum of 2.8m wide in width and 6m in length

SECTION 15.0

ZONE EXCEPTIONS

15.14.32

a) Defined area (Approximately 61m east of the intersection of Lorne Avenue East and Erie Street)

I2-32 as shown on Schedule "A", Map 7

b) Permitted use

- Business office of a consulting engineer or surveyor
- Car wash
- Commercial school
- Data centre
- Dry cleaning establishment
- Equipment service establishment
- Factory store
- Food processing establishment
- Hotel
- Industrial use
- Motor vehicle repair shop
- Motor vehicle sales or rental establishment
- Motor vehicle service station
- Private club
- Public use
- Scientific or medical laboratory
- Recreational park
- Veterinarian clinic
- Warehouse

SECTION 15.0

ZONE EXCEPTIONS

15.14.33

- a) Defined area (58 Griffith Road West)
I2-33 as shown on Schedule "A", Map 8
- b) Permitted use
 - Religious institution
 - All uses permitted in the I2 zone
- c) Minimum parking for a religious institution: 1 per 5.5 persons seating capacity

15.14.34

- a) Defined area (533 Romeo Street South)
I2-34 as shown on Schedule "A", Map 9
- b) Permitted use
 - Athletic training facility
 - All uses permitted in the I2 zone
- c) Definition
 - For the purpose of the defined area, the following shall apply:
 - i. Athletic training facility means a building of part thereof, that provides the necessary indoor facilities to accommodate athletic training and/or usage, including but not limited to hockey, soccer, baseball, martial arts, pickleball, tennis and golf
- d) Maximum gross floor area for an athletic training facility: 4080m²
- e) Parking regulations for an athletic training facility: 1 parking space per 50m² of gross floor area

15.14.35

- a) Defined area (55 to 65 Lorne Avenue East – By-law 90-2021)
I2-35 as shown on Schedule "A", Map 7
- b) Permitted use

SECTION 15.0

ZONE EXCEPTIONS

- Business office
 - Clinic
 - Day care centre
 - Fitness club
 - Personal care establishment
 - Personal service establishment
 - Professional office
 - Specialized medical office
 - All uses permitted in the I2 zone
- c) Maximum gross floor area for a specialized medical office and a clinic is 15% of the total gross floor area
- d) Minimum landscaped open space: 15%

15.14.36

- a) Not defined

15.14.37

- a) Defined area (Portion of 3797 Downie Road 112 – By-law 40-2021) I2-37 as shown on Schedule “A”, Map 9
- b) Permitted use
- Car wash
 - Gas bar
 - Neighbourhood store accessory to a gas bar
 - All uses permitted in the I2 zone
- c) Maximum gross floor area
- Neighbourhood store accessory to a gas bar: 210m²
- d) Minimum standard parking space dimension

SECTION 15.0

ZONE EXCEPTIONS

- Width: 2.8m
 - Length: 5.6m
- e) Minimum parking spaces for an automatic car wash: 1
- f) Minimum stacking spaces before an automatic car wash: 10

SECTION 15.0

ZONE EXCEPTIONS

15.15 Secondary Industrial (I3) Zone

None

SECTION 15.0

ZONE EXCEPTIONS

15.16 Factory District (I4) Zone

15.16.1

- a) Defined area (163 King Street – By-law 120-2009)
I4-1 as shown on Schedule “A”, Map 5
- b) Permitted use
 - Auditorium
 - Business office
 - Fitness club
 - Hotel
 - Merchandise service shop
 - Professional office
 - Clinic
 - Post-secondary school
 - Restaurant
 - Retail store (for the sale of arts and crafts only)
 - Studio
 - Theatre
 - All uses permitted in the I4 zone
- c) Maximum number of guest rooms: 20

15.16.2

- a) Defined area (376 Romeo Street South – By-law 28-2007)
I4-2 as shown on Schedule “A”, Map 5
- b) Permitted use
 - Business office

SECTION 15.0

ZONE EXCEPTIONS

- Professional office
- Clinic
- All uses permitted in the I4 zone

15.16.3

a) Defined area (345 Douro Street – By-law 138-2018)
I4-3 as shown on Schedule “A”, Map 5

b) Permitted use

- Retail store
- All uses permitted in the I4 zone

c) Setbacks

- The existing building is permitted to have a rear yard setback of 5.1m, any repairs, rebuilds or extensions are subject to Section 4.17 non-conformity with this by-law
- The existing shed is permitted to have an exterior side yard setback of 0.8m, any repairs, rebuilds or extensions are subject to Section 4.17 non-conformity with this by-law

d) Parking

- The minimum exterior side yard setback for parking is 2m

e) Special use regulations

- The retail store is limited to the sales of pet foods and pet products.
- The retail store is only permitted in association with a veterinarian clinic.
- The maximum gross floor area of the retail store is 120m²

SECTION 15.0

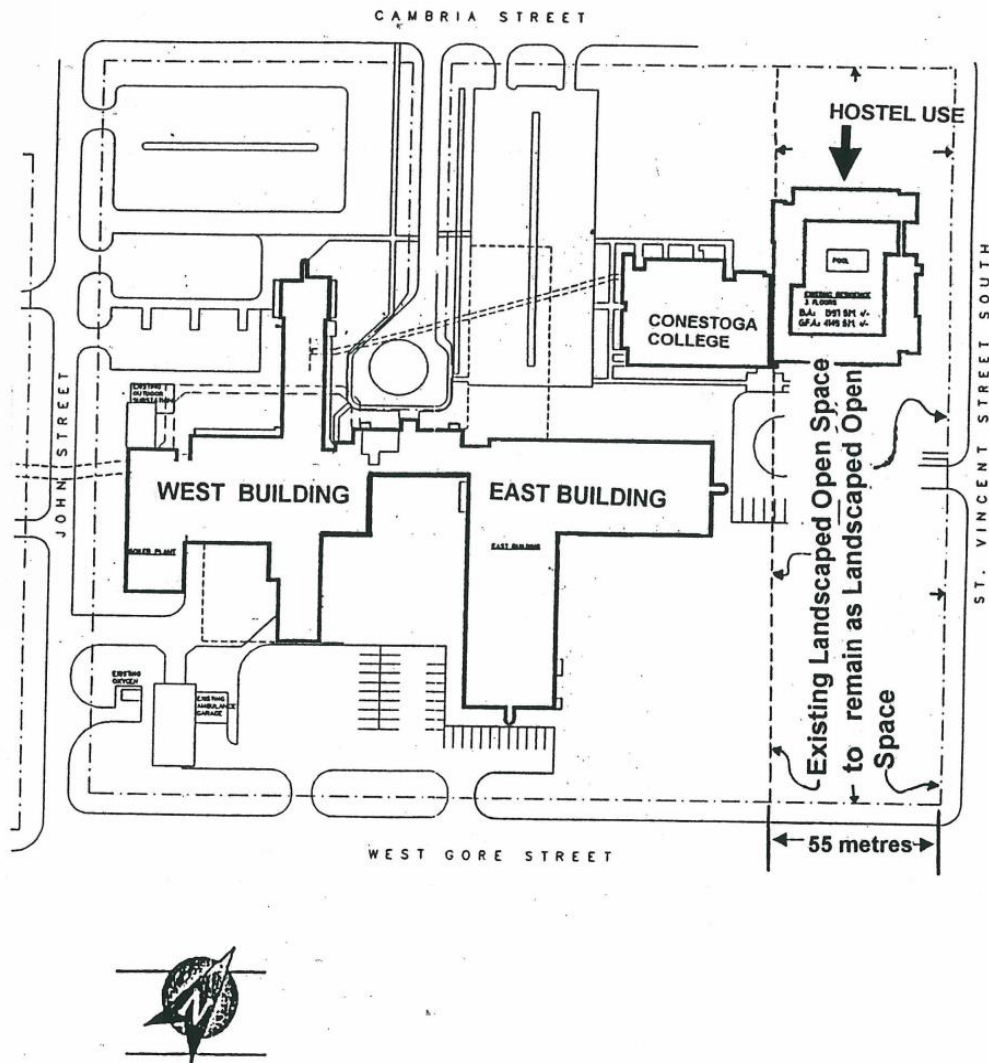
ZONE EXCEPTIONS

15.17 Institutional Community (IN1) Zone

15.17.1

- a) Defined area (46 General Hospital Drive and 130 Youngs Street)
IN1-1 as shown on Schedule "A", Map 4 and Figure 15.17.1:

Figure 15.17.1: 46 General Hospital Drive and 130 Youngs Street



- b) Permitted use

- Hostel in the existing 3,888m² former Nurses Residence building only

SECTION 15.0

ZONE EXCEPTIONS

- All other uses permitted in the IN1 zone
- c) Maximum number of guest rooms: 165
- d) Minimum number of parking spaces
 - For the purposes of the defined area, the following shall apply:
 - i. Minimum number of total required parking spaces: 370
 - ii. Minimum number of parking spaces required for a hostel: 60
- e) Landscaped open area
 - The existing landscaped area, as defined on Figure 15.17.1 shall be maintained as landscaped open space

SECTION 15.0

ZONE EXCEPTIONS

15.18 Institutional Neighbourhood (IN2) Zone

15.18.1

- a) Defined area (380 Hibernia Street – By-law 232-2005)
IN2-1 as shown on Schedule “A”, Map 1
- b) Permitted use
 - Business office – within the existing building
 - Clinic – within the existing building
 - Professional office – within the existing building
 - All other uses permitted in the R1 zone

15.18.2

- a) Defined area (426 Britannia Street)
IN2-2 as shown on Schedule “A”, Map 1
- b) Permitted use
 - Type 1 group home
 - All uses permitted in the IN1 zone
- c) Setbacks: the minimum front yard setback for parking is 3m
- d) Parking rate
 - Notwithstanding the minimum parking standards in Section 5.1, where the subject lands contain an auditorium associated with a type 1 group home or business office of an incorporated not-for-profit organization a minimum of 25 parking spaces is required
 - A minimum of 0.25 bicycle parking spaces per each required parking space
- e) Design width of Britannia Street: notwithstanding Schedule B, the design width of the road allowance of Britannia Street along the subject lands shall be 20m

SECTION 15.0

ZONE EXCEPTIONS

15.19 Theatre District (TH) Zone

None

SECTION 15.0

ZONE EXCEPTIONS

15.20 Parks (P) Zone

15.20.1

- a) Defined area (east side of Queen Street, south of Lakeshore Drive)
P-1 as shown on Schedule "A", Map 5
- b) Side yard width: 0.9m
- c) Maximum lot coverage: 40%
- d) Minimum number of parking spaces: 43

15.20.2

- a) Defined area (west side of Queen Street, south of Lakeshore Drive)
P-2 as shown on Schedule "A", Map 5
- b) Permitted uses
 - A building for the growing of plants accessory to the use of lands zoned P-1, notwithstanding anything in this By-law to the contrary
- c) Minimum setback: 6m
- d) Minimum side yard width: 1.2m
- e) Minimum rear yard depth: 5.5m
- f) Maximum lot coverage: 25%

15.20.3

- a) Defined area (north side of William Street, east of James Street)
P-3 as shown on Schedule "A", Map 3
- b) Permitted buildings and structures: none

15.20.4

- a) Defined area (Quinlan Pumping Station – By-law 43-2018)
P-4 as shown on Schedule "A", Map 2
- b) Minimum front yard depth: 6.0m

SECTION 15.0

ZONE EXCEPTIONS

15.21 Open Space (OS) Zone

15.21.1

- a) Defined area (362 Romeo Street North)
OS-1 as shown on Schedule "A", Map 3
- b) Permitted use
 - Pumping station
 - All other uses permitted in the OS zone

SECTION 15.0

ZONE EXCEPTIONS

15.22 Agricultural (A) Zone

15.22.1

- a) Defined area (north portion of 3202 Vivian Line 37)
A-1 as shown on Schedule "A", Map 3

b) Permitted use

- Landscaping
- Garden Centre
- Nursery uses shall also be permitted

15.22.2

- a) Defined area (750 O'Loane Avenue)
A-2 as shown on Schedule "A", Map 1

b) Permitted use

- An existing electrical contracting business on a 0.49-hectare area which is located in the south-east corner of the subject 12.0-hectare property

- c) For all buildings and accessory structures uses for the electrical contracting business:

- Minimum south side yard setback: 5m
- Maximum ground floor area: 580m²
- Outdoor storage of goods and materials associated with the electrical contracting business shall be permitted only to the south of the main building associated with the electrical contracting business and in accordance with the provisions of the related Site Plan Agreement for the electrical contracting business

15.22.3

- a) Defined area (719 Huron Street)
A-3 as shown on Schedule "A", Map 1

b) Permitted use

SECTION 15.0

ZONE EXCEPTIONS

- Farm implement and machinery sales and/or service establishment
- Farm equipment sales and/or service establishment
- Livestock auction facility
- Livestock assembly yard
- Livestock trucking depot
- Farm produce retail outlet
- Animal clinic and/or operations providing animal husbandry services
- Fuel supply depot
- Feedmill
- Grain and seed storage, drying and/or cleaning operation
- Feed and/or fertilizer blending operation
- Farm supplies outlet
- Farm related welding business
- Farm related construction and/or contracting business
- Farm related storage/warehousing business
- Business for the processing of farm products
- Commercial greenhouse operation
- Milk transport business
- Accessory uses, buildings, and structures, in accordance with this By-law, including an accessory office use and an accessory factory store, but excluding any accessory residential use
- All other uses permitted in the A zone

c) Minimum lot area: 2700m²

SECTION 15.0

ZONE EXCEPTIONS

- d) Minimum lot frontage: 45m
- e) Minimum front yard: 15m
- f) Minimum interior side yard (main buildings): 4.5m, except that 9m shall be required when the side yard abuts a residential zone or an existing residential lot
- g) Minimum interior side yard (accessory buildings and structures): 3m, except that 6m shall be required when the side yard abuts a residential zone or an existing residential lot
- h) Minimum exterior side yard: 15m
- i) Minimum rear yard: 7.5m
- j) Maximum lot coverage: 35%
- k) Maximum height (main buildings): 12m
- l) Maximum height (accessory buildings and structures): 9m
- m) Planting strip: shall be provided in accordance with the provisions of Section 4.21 of this By-law adjacent to every portion of any lot line that abuts a residential zone or urban reserve zone or an existing residential lot
- n) Servicing requirement:
 - Any agricultural commercial/industrial use shall be a “dry” use where the only waste water discharges in addition to storm drainage are from ancillary facilities/operations such as washrooms, cooling of machinery, and the pressure testing of equipment. An agricultural commercial/industrial use shall not be permitted if it produces liquid effluent or if it requires the direct consumption of water.
- o) Open storage: open storage shall be permitted in all yards other than the front yard, but in no case shall be permitted closer than 3m to a lot line. Notwithstanding the foregoing, the display of farm machinery shall be permitted in a front yard provided such display is no closer than 3m from the front lot line.
- p) Parking requirements: in accordance with Section 5.0 of this By-law

SECTION 15.0

ZONE EXCEPTIONS

15.22.4

- a) Defined area (1296 O'Loane Avenue)
A-4 as shown on Schedule "A", Map 2
- b) No buildings or structures shall be erected on lands zoned A-4

15.22.5

- a) Defined area (3010 Line 34)
A-5 as shown on Schedule "A", Map 6
- b) Permitted uses on the southerly portion of the property (defined as the area located between the northerly limit of Line 34 (Highway 7/8) road right-of-way and a point measured 158m northerly therefrom (approximately 1.66ha in size)):
 - Building centre
 - Building supply yard
 - Hardware outlet
 - Accessory uses
- c) Permitted uses on the middle portion of the property (defined as the area located north of the southerly portion of the subject property as defined in 15.22.5 b), and measured back a further distance of 72.2m northerly therefrom (approximately 0.76ha in size)):
 - Storage associated with the building centre
 - Hardware outlet
 - Building supply yard use referenced in 15.22.5 b)
- d) Permitted uses on the rear of the property (defined as the area north of the middle portion of the property as defined in 15.22.5 c)):
 - Agricultural uses excluding any buildings and structures
- e) Front yard setback (minimum): 30m
- f) Interior side yard setback (minimum): 9m, except that the minimum interior side yard setback for any building material storage structures erected on the middle portion of the subject lands (as defined in clause

SECTION 15.0

ZONE EXCEPTIONS

15.22.5 c)) shall be 6m

- g) Lot frontage (minimum): 30m
- h) Exterior side yard setback (minimum): 10m
- i) Maximum lot coverage: 40%
- j) Maximum building height: 10m
- k) Minimum landscaped open space: 20%
- l) A planting strip shall be provided adjacent to every portion of any lot line that abuts a residential zone or an existing lot with a dwelling
- m) Servicing
 - Notwithstanding Section 4.25, where municipal water and/or sewage services are not available, no highway commercial use shall be permitted which requires municipal water and/or sewage services
 - No highway commercial use shall be permitted unless all requirements of the appropriate authority for sewage disposal are complied with

15.22.6

- a) Defined area (3028 Line 34)
A-6 as shown on Schedule "A", Map 6
- b) The extension or enlargement of the existing building and structures associated with the existing use, and accessory buildings or structures are permitted within the southerly 230m
- c) Lot area minimum 1000m² except where sanitary sewers are not available, the minimum lot area shall be sufficient to accommodate a septic system approved by the appropriate authority, and such lot area shall not be less than 1850m²
- d) Minimum lot frontage: 30m
- e) Minimum front yard setback: 10m
- f) Minimum interior side yard setback: 6m

SECTION 15.0

ZONE EXCEPTIONS

- g) Maximum lot coverage: 40%
- h) Maximum building height: 10m
- i) Minimum landscaped open space: 20%
- j) A planting strip shall be provided adjacent to every portion of any lot line that abuts a residential zone or an existing residential lot with a dwelling
- k) Servicing
 - Notwithstanding Section 4.25, where municipal water and/or sewage services are not available no highway commercial use shall be permitted which requires municipal water and/or sewage services
 - No highway commercial use shall be permitted unless all requirements of the appropriate authority for sewage disposal are complied with

15.22.7

- a) Defined area (3018A and 3018B Line 34)
A-7 as shown on Schedule "A", Map 6
- b) Permitted use
 - Automobile repair shop including the repair, maintenance and storage of vehicles, products or equipment related to a permitted use but excluding a body or metal fabricating shop
 - Automobile sales establishment including small engine sales and motorized snow and water recreational vehicle sales but excluding boat sales
 - Airport transit/motor vehicle charter service licensed under a federal or provincial statute but excluding a taxi-cab business
 - Automobile service station except gasoline or oils may not be stored or kept for sale at retail
 - Retail store related solely to the automobile sales establishment
 - Personal service shop related solely to the airport transit/motor vehicle charter service

SECTION 15.0

ZONE EXCEPTIONS

- Office use
 - Single financial institution
 - Accessory uses, buildings and structures excluding any accessory residential uses
- c) Minimum lot area: 14,100m²
- d) Minimum lot frontage: 69m
- e) Minimum front yard setback: 24m
- f) Minimum side yard setback: east 3m, west 6m
- g) Minimum rear yard: 50m
- h) Maximum lot coverage: 20%
- i) Maximum gross floor area shall be 2462m² of which a maximum of 500m² of gross floor area may be devoted to all the uses permitted in 15.22.7 b) e.-h., inclusive
- j) Maximum building height: 9.2m
- k) Landscape requirements: landscaped open space shall be maintained in the areas adjacent to the front lot line, side lot lines, and rear lot line. The minimum width of the landscaped open space area adjacent to the front lot line shall be 7.5m and adjacent to the side and rear lot lines shall be 3m.
- l) Servicing requirements: unless communal services are available permitted uses shall be serviced by private on-site well and sewage treatment facilities to the extent permitted by the appropriate regulatory body
- m) Outdoor storage: all outdoor storage areas associated with a permitted use shall be located to the rear of the front yard, except that the outdoor display of vehicles associated with an automobile sales establishment shall be permitted in the front yard provided it is setback 7.5m from the front lot line
- n) Parking: parking shall be permitted in all yards provided the following setbacks are maintained:

SECTION 15.0

ZONE EXCEPTIONS

- Front yard: 7.5m
- Side yard: 3m
- Rear yard: 50m

15.22.8

- a) Defined area (north portion of 3035 Line 34)
A-8 as shown on Schedule "A", Map 6
- b) Permitted use
 - Business office
 - Professional office
 - Clinic
- c) Minimum lot area: 0.9ha
- d) Minimum lot frontage: 73m
- e) Maximum gross floor area: 929m²
- f) Minimum front yard setback: 15m
- g) Minimum side yard setback: 6m
- h) Minimum rear yard setback: 20m
- i) Maximum lot coverage: 35%
- j) Maximum building height: 10m
- k) Minimum landscaped open space: 15%
- l) Minimum parking requirement: 1 space per 20m² of gross floor area

15.22.9

- a) Defined area (4272 Line 34)
A-9 as shown on Schedule "A", Map 1
- b) Permitted use
 - Agricultural use

SECTION 15.0

ZONE EXCEPTIONS

- Conservation use
- Forestry use

c) Definition

- Agricultural use means the growing of crops such as nursery and horticultural crops; aquaculture; apiaries; agro-forestry; maple syrup production; and associated on-farm buildings and structures. No dwelling units shall be permitted.

d) Minimum lot area: 33ha

e) Minimum lot frontage: 200m

f) Minimum distance separation (MDS) formula:

- Any repairs or rebuilds to any existing buildings or structures and enlargements and new buildings or structures shall comply with MDS

g) Services

- Notwithstanding Section 4.25, on lands within the A-9 zone no building shall be erected, or enlarged unless the requirements for service connections defined by the Ontario Building Code are provided

15.22.10

a) Defined area (west side of 4272 Line 34) A-10 as shown on Schedule "A", Map 1

b) Permitted use

- Single detached dwelling
- Home occupation
- Bed and breakfast establishment

c) Bed and breakfast site specific regulations:

- Notwithstanding Section 4.3, a bed and breakfast is permitted in the A-10 zone with a maximum of four (4) accessory guest rooms.

SECTION 15.0

ZONE EXCEPTIONS

All other provisions of Section 4.3 apply.

d) Minimum setbacks (main building)

- Front yard: 15m
- Side yard: 7.5m
- Rear yard: 15m

e) Minimum lot area: 3000m²

f) Minimum lot frontage: 37m

g) Maximum lot coverage: 30%

h) Minimum landscaped open space: 30%

i) Maximum height: 12m

j) Minimum setbacks (accessory structures)

- Side yard: 3m
- Rear yard: 3m
- Shall not be located in a front yard or within a required setback

k) Maximum lot coverage (accessory structures): 5%

l) Services

- Notwithstanding Section 4.25, on lands within the A-10 zone no building shall be erected, or enlarged unless the requirements for service connections defined by the Ontario Building Code are provided

SECTION 15.0

ZONE EXCEPTIONS

15.23 Urban Reserve (UR) Zone

15.23.1

- a) Defined area (354 Delamere Avenue and 106 Romeo Street North – By-law 146-2010)
UR-1 as shown on Schedule “A”, Map 3

b) Permitted use

- Notwithstanding Section 12.2 hereof to the contrary, the lands zoned UR-1 (354 Delamere Avenue and 106 Romeo Street North) shall be used for no purposes other than a parking area for 10 Romeo Street North

15.23.2

- a) Defined area (720 Huron Street)
UR-2 as shown on Schedule “A”, Map 1

b) Permitted use

- Extraction of sand and gravel
- Contractor’s yard and shop

15.23.3

- a) Defined area (700 Huron Street)
UR-3 as shown on Schedule “A”, Map 1

b) Permitted use

- Single-detached dwelling
- Contractor’s yard and shop
- Accessory buildings and structures

- c) Maximum gross floor area: 140m² (for the contractor’s yard and shop)

15.23.4

- a) Defined area (3980 Road 111)
UR-4 as shown on Schedule “A”, Map 6

b) Permitted use

SECTION 15.0

ZONE EXCEPTIONS

- Single-detached dwelling
- Accessory buildings and structures on one lot
- c) Special regulations
 - Development for the permitted uses shall be by plan of subdivision
- d) Servicing
 - Notwithstanding Section 4.25, one single detached dwelling may be erected or enlarged as long as the requirements for service connections defined by the Ontario Building Code are provided

15.23.5

- a) Defined area (3009 Line 34)
UR-5 as shown on Schedule "A", Map 6
- b) Permitted use
 - Automobile sales and service establishment
 - Automobile repair establishment
 - Accessory uses

15.23.6

- a) Defined area (3998 and 3994 Road 111)
UR-6 as shown on Schedule "A", Map 6
- b) Permitted use
 - Business office
 - Contractor's shop
 - Personal service shop
 - Professional office
 - Repair shop
 - Single detached dwelling
 - Small engine repair

SECTION 15.0

ZONE EXCEPTIONS

- Storage
- Wholesale
- c) Special regulations
 - All non-residential uses shall be conducted within the existing 111.5m² building situated on the southerly portion of the property
- d) Servicing
 - Notwithstanding Section 4.25, no building shall be erected or enlarged unless the requirements for service connections defined by the Ontario Building Code are provided

15.23.7

- a) Defined area (3984 Road 111)
UR-7 as shown on Schedule "A", Map 6
- b) Permitted use
 - Automobile repair establishment
 - Automobile sales or service establishment
 - Paint shop business
 - Accessory uses
 - Woodworking, cabinet making business
- c) Servicing
 - Notwithstanding Section 4.25, no building shall be erected or enlarged unless the requirements for service connections defined by the Ontario Building Code are provided

15.23.8

- a) Defined area (3007 Line 34, 3992 Road 111 and 3986 Road 111)
UR-8 as shown on Schedule "A", Map 6
- b) Permitted use
 - Single detached dwelling

SECTION 15.0

ZONE EXCEPTIONS

c) Servicing

- Notwithstanding Section 4.25, no building shall be erected or enlarged unless the requirements for service connections defined by the Ontario Building Code are provided

15.23.9

a) Defined area (3992 Road 111) UR-9 as shown on Schedule "A", Map 6

b) Permitted use

- Furniture repair shop
- Upholstery business
- Accessory uses

c) Servicing

- Notwithstanding Section 4.25, no building shall be erected or enlarged unless the requirements for service connections defined by the Ontario Building Code are provided

15.23.10

a) Defined area (864 Mornington Street) UR-10 as shown on Schedule "A", Map 2

b) Permitted use

- One single detached dwelling
- Home occupation
- A bed and breakfast establishment

c) Minimum lot area: the minimum lot area shall be sufficient to accommodate a septic system approved by the appropriate authority, as well as the dwelling and accessory buildings and such lot shall not be less than 2250m²

d) Minimum lot frontage: 27.5m

e) Minimum setbacks

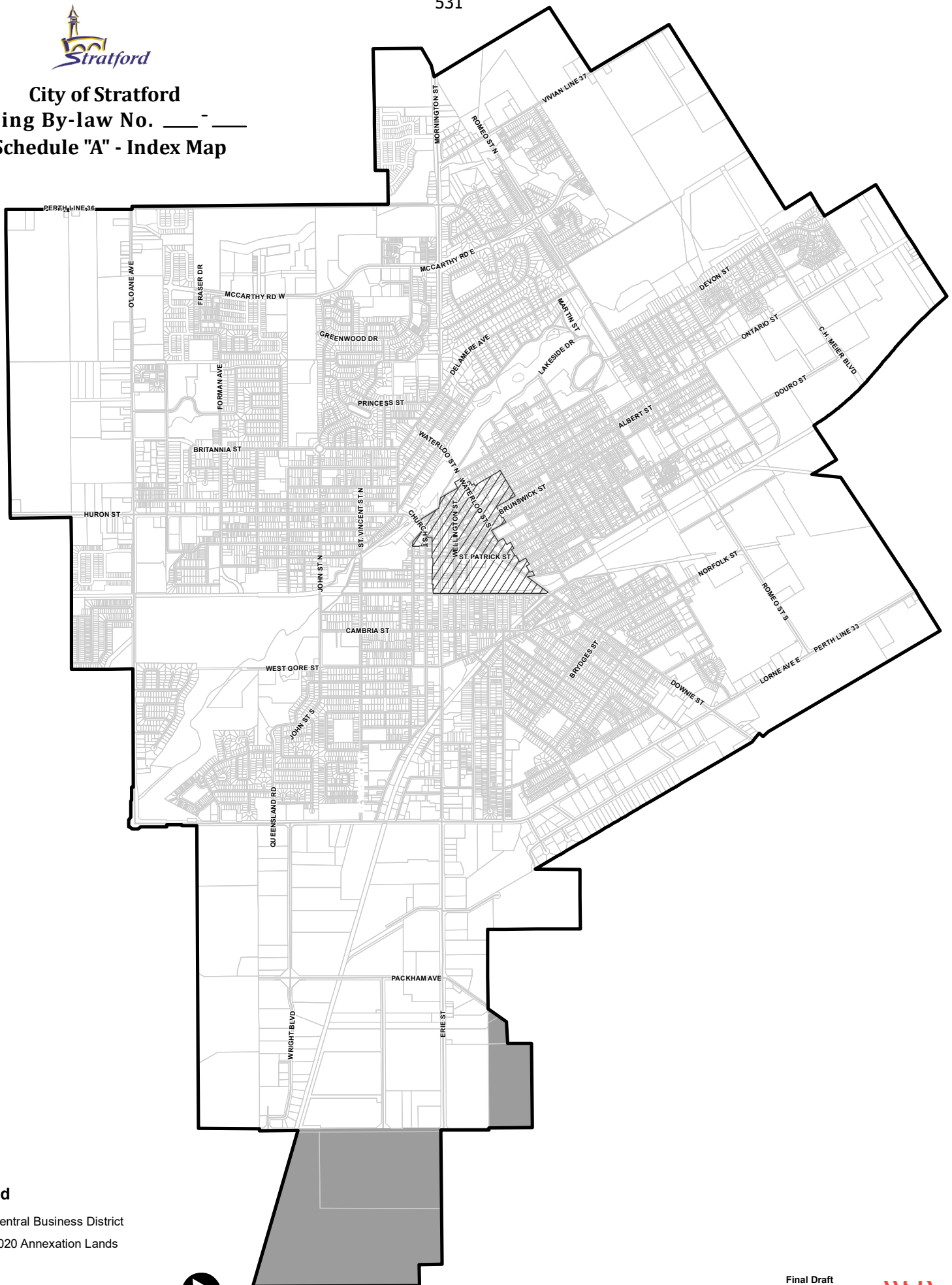
SECTION 15.0

ZONE EXCEPTIONS

- Front yard: 7.5m
 - Side yard: 3m
 - Rear yard: 7.5m
- f) Maximum building height: 10m
- g) Maximum lot coverage: 30%
- h) Minimum landscaped open space: 30%



City of Stratford
Zoning By-law No. ____ - ____
Schedule "A" - Index Map



Map 2

Map 3

Map 5

Map 4

Map 8



City of Stratford
Zoning By-Law
No. _____ - _____

Schedule "A" Map 1

Legend

- Upper Thames River Conservation Authority Regulated Area Overlay (Refer to Section 4.29)
- "-#" - Zone Exception (Refer to Section 15.0)
- "-H#" - Holding Symbol (Refer to Section 2.5.2)
- "-B#" - Bonus Provision (Refer to Section 2.5.3)
- "-T#" - Temporary Use Permission (Refer to Section 2.5.4)

- Central Business District
- Stratford Airport Overlay (Refer to Section 2.5.6)

Residential Zones

- R1 - Residential First Density
- R2 - Residential Second Density
- R3 - Residential Third Density
- R4 - Residential Fourth Density
- R5 - Residential Fifth Density
- MUR - Mixed Use Residential

Commercial Zones

- C1 - Neighbourhood Commercial
- C2 - Highway Commercial
- C3 - Central Commercial
- C4 - Shopping Centre Commercial
- C5 - Corridor Commercial

Grand Trunk Anchor District Zone

- AD - Grand Trunk Anchor District

Industrial Zones

- I1 - Prime Industrial
- I2 - General Industrial
- I3 - Secondary Industrial
- I4 - Factory District

Institutional Zones

- IN1 - Institutional Community
- IN2 - Institutional Neighbourhood

Theatre District Zone

- TH - Theatre District

Parks and Open Space Zones

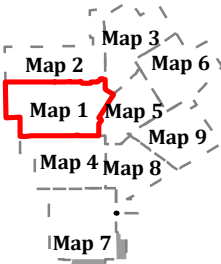
- P - Parks
- OS - Open Space

Agricultural Zone

- A - Agricultural

Urban Reserve Zone

- UR - Urban Reserve



2020
Annexation
Lands

0 250 500
Meters

Final Draft
January, 2022





City of Stratford
Zoning By-Law
No. _____ - _____

Schedule "A" Map 2

- Legend**
- Upper Thames River Conservation Authority Regulated Area Overlay (Refer to Section 4.29)
 - "-#" - Zone Exception (Refer to Section 15.0)
 - "-H#" - Holding Symbol (Refer to Section 2.5.2)
 - "-B#" - Bonus Provision (Refer to Section 2.5.3)
 - "-T#" - Temporary Use Permission (Refer to Section 2.5.4)

- Central Business District
- Stratford Airport Overlay (Refer to Section 2.5.6)

- Residential Zones**
- R1 - Residential First Density
 - R2 - Residential Second Density
 - R3 - Residential Third Density
 - R4 - Residential Fourth Density
 - R5 - Residential Fifth Density
 - MUR - Mixed Use Residential
- Commercial Zones**
- C1 - Neighbourhood Commercial
 - C2 - Highway Commercial
 - C3 - Central Commercial
 - C4 - Shopping Centre Commercial
 - C5 - Corridor Commercial

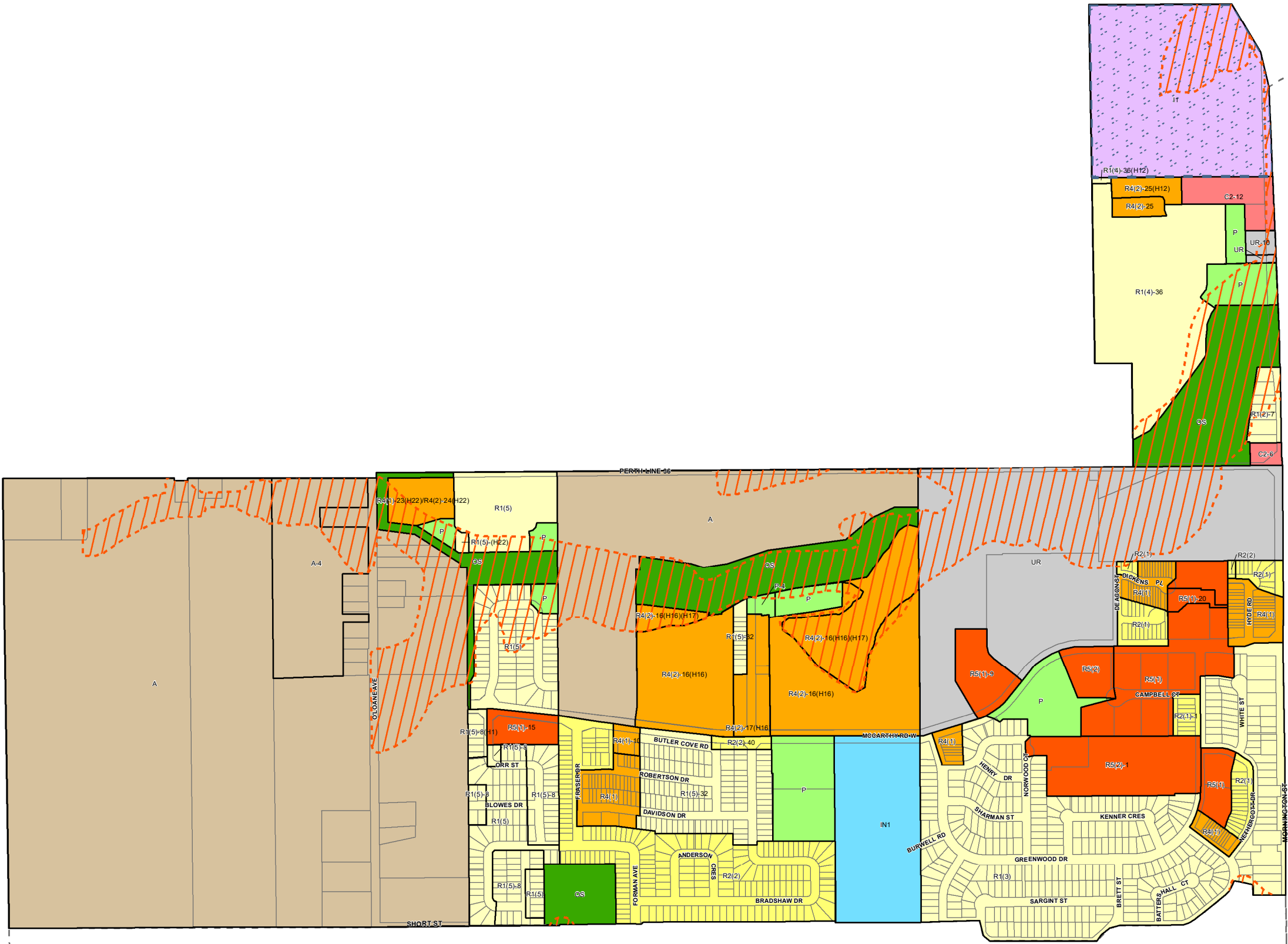
- Grand Trunk Anchor District Zone**
- AD - Grand Trunk Anchor District
- Industrial Zones**
- I1 - Prime Industrial
 - I2 - General Industrial
 - I3 - Secondary Industrial
 - I4 - Factory District

- Institutional Zones**
- IN1 - Institutional Community
 - IN2 - Institutional Neighbourhood

- Theatre District Zone**
- TH - Theatre District

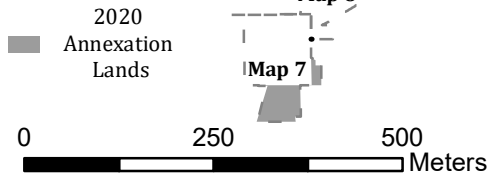
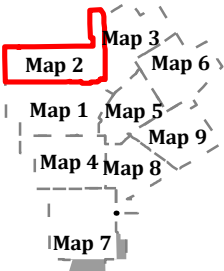
- Parks and Open Space Zones**
- P - Parks
 - OS - Open Space

- Agricultural Zone**
- A - Agricultural
- Urban Reserve Zone**
- UR - Urban Reserve



Map 3

Map 1



Final Draft
January, 2022





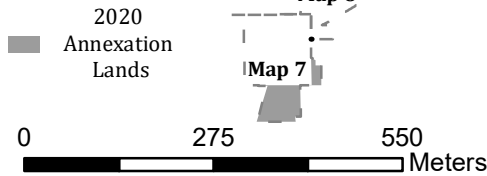
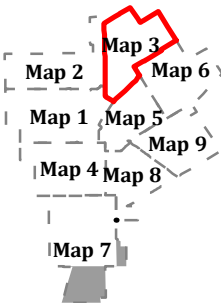
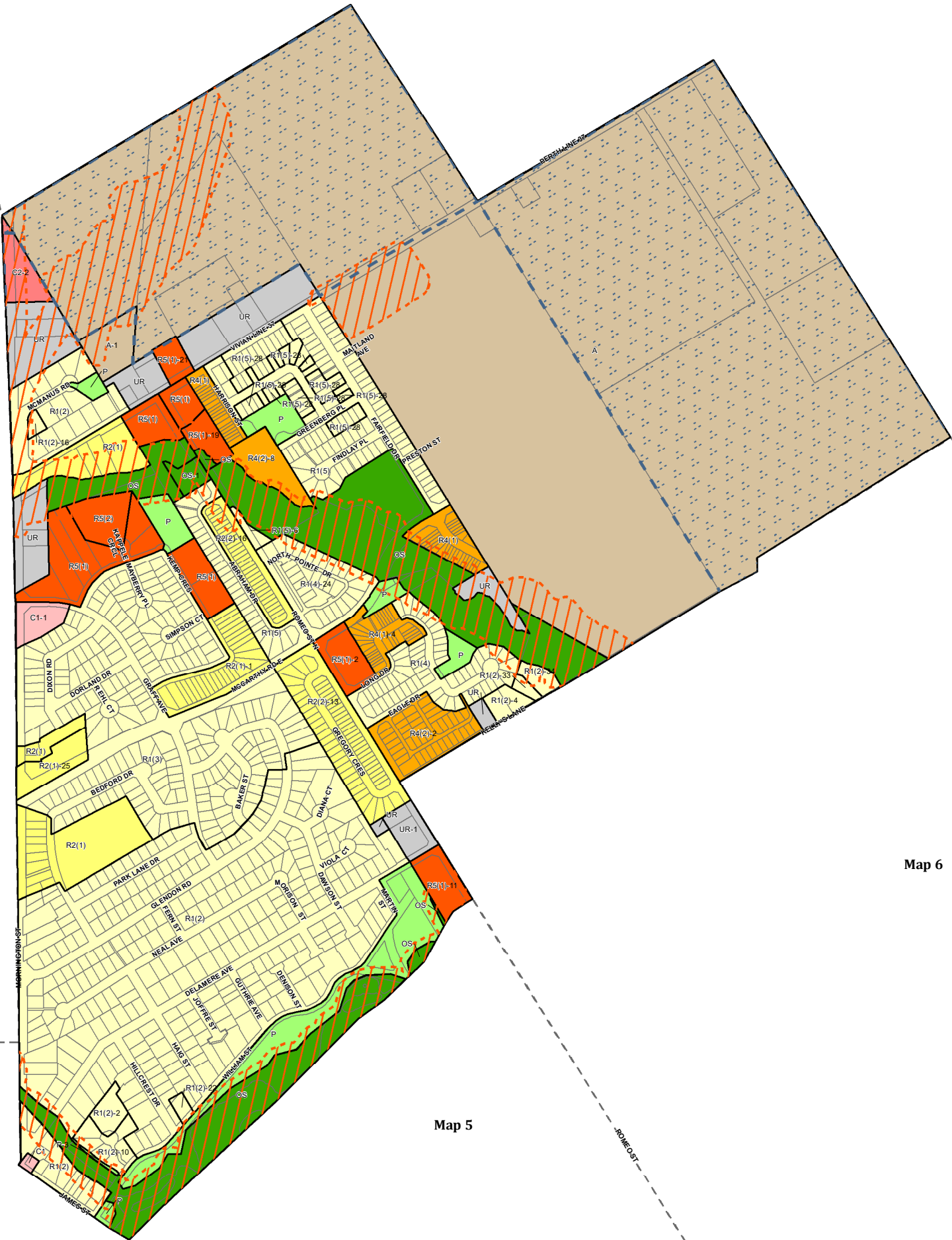
City of Stratford
Zoning By-Law
No. _____

Schedule "A" Map 3

- Legend**
- Upper Thames River Conservation Authority Regulated Area Overlay (Refer to Section 4.29)
 - "-#" - Zone Exception (Refer to Section 15.0)
 - "-H#" - Holding Symbol (Refer to Section 2.5.2)
 - "-B#" - Bonus Provision (Refer to Section 2.5.3)
 - "-T#" - Temporary Use Permission (Refer to Section 2.5.4)

- Central Business District
- Stratford Airport Overlay (Refer to Section 2.5.6)

- Residential Zones**
- R1 - Residential First Density
 - R2 - Residential Second Density
 - R3 - Residential Third Density
 - R4 - Residential Fourth Density
 - R5 - Residential Fifth Density
 - MUR - Mixed Use Residential
- Commercial Zones**
- C1 - Neighbourhood Commercial
 - C2 - Highway Commercial
 - C3 - Central Commercial
 - C4 - Shopping Centre Commercial
 - C5 - Corridor Commercial
- Grand Trunk Anchor District Zone**
- AD - Grand Trunk Anchor District
- Industrial Zones**
- I1 - Prime Industrial
 - I2 - General Industrial
 - I3 - Secondary Industrial
 - I4 - Factory District
- Institutional Zones**
- IN1 - Institutional Community
 - IN2 - Institutional Neighbourhood
- Theatre District Zone**
- TH - Theatre District
- Parks and Open Space Zones**
- P - Parks
 - OS - Open Space
- Agricultural Zone**
- A - Agricultural
- Urban Reserve Zone**
- UR - Urban Reserve

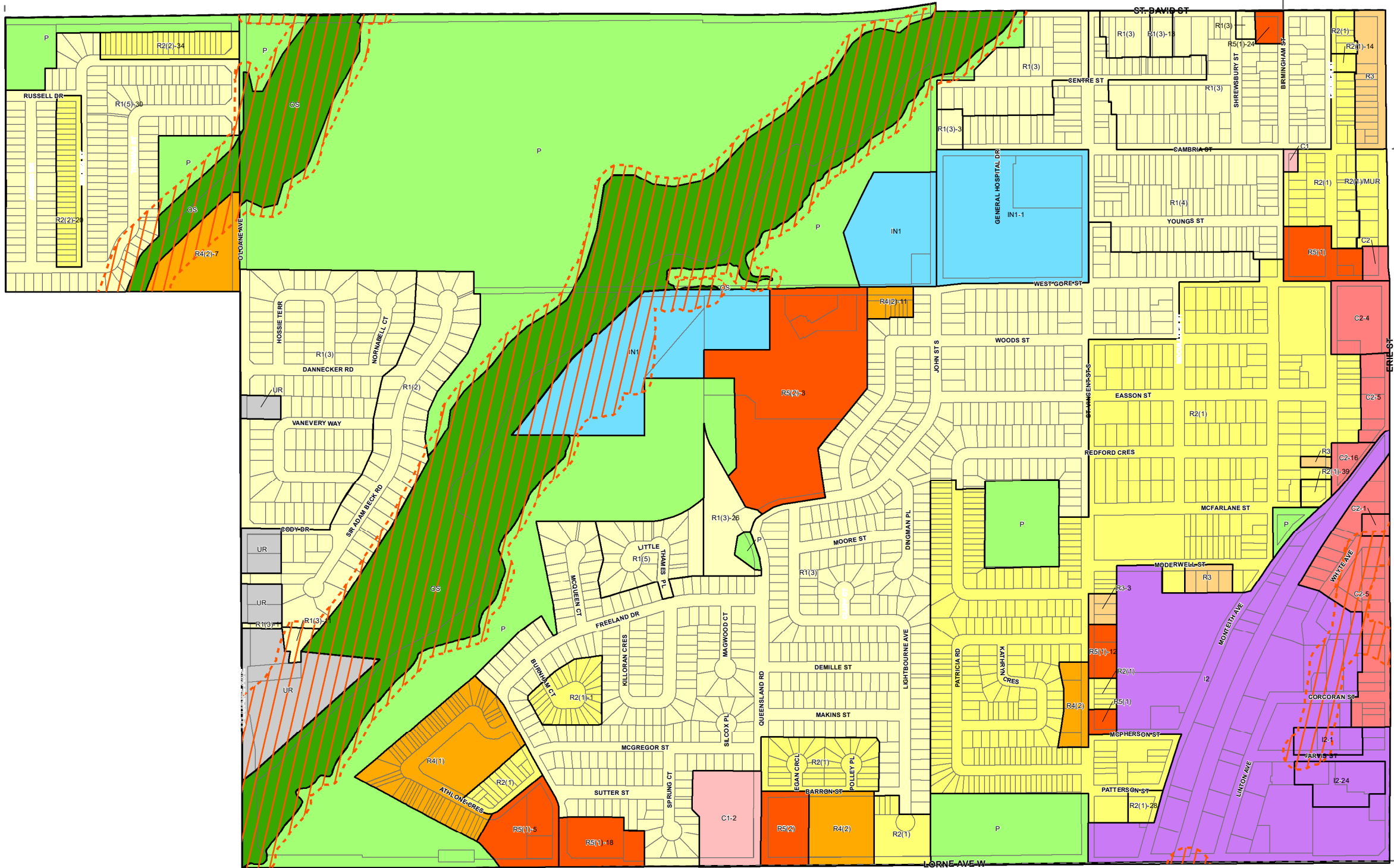


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Map 1

Map 5



Map 7

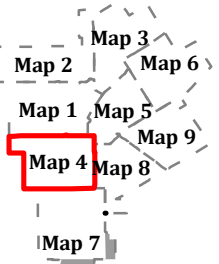
Map 8



City of Stratford Zoning By-Law No. _____ - _____

Schedule "A" Map 4

- Legend**
- Upper Thames River Conservation Authority Regulated Area Overlay (Refer to Section 4.29)
 - "-#" - Zone Exception (Refer to Section 15.0)
 - "-H#" - Holding Symbol (Refer to Section 2.5.2)
 - "-B#" - Bonus Provision (Refer to Section 2.5.3)
 - "-T#" - Temporary Use Permission (Refer to Section 2.5.4)
 - Central Business District
 - Stratford Airport Overlay (Refer to Section 2.5.6)
 - Residential Zones**
 - R1 - Residential First Density
 - R2 - Residential Second Density
 - R3 - Residential Third Density
 - R4 - Residential Fourth Density
 - R5 - Residential Fifth Density
 - MUR - Mixed Use Residential
 - Commercial Zones**
 - C1 - Neighbourhood Commercial
 - C2 - Highway Commercial
 - C3 - Central Commercial
 - C4 - Shopping Centre Commercial
 - C5 - Corridor Commercial
 - Grand Trunk Anchor District Zone**
 - AD - Grand Trunk Anchor District
 - Industrial Zones**
 - I1 - Prime Industrial
 - I2 - General Industrial
 - I3 - Secondary Industrial
 - I4 - Factory District
 - Institutional Zones**
 - IN1 - Institutional Community
 - IN2 - Institutional Neighbourhood
 - Theatre District Zone**
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 - Parks and Open Space Zones**
 - P - Parks
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 - A - Agricultural
 - Urban Reserve Zone**
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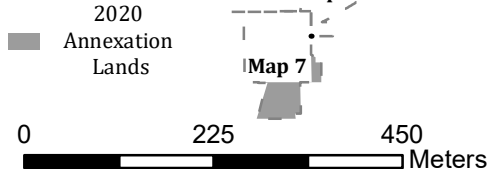
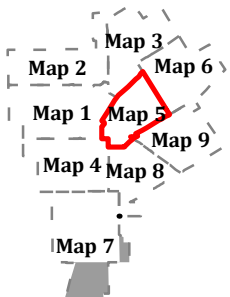
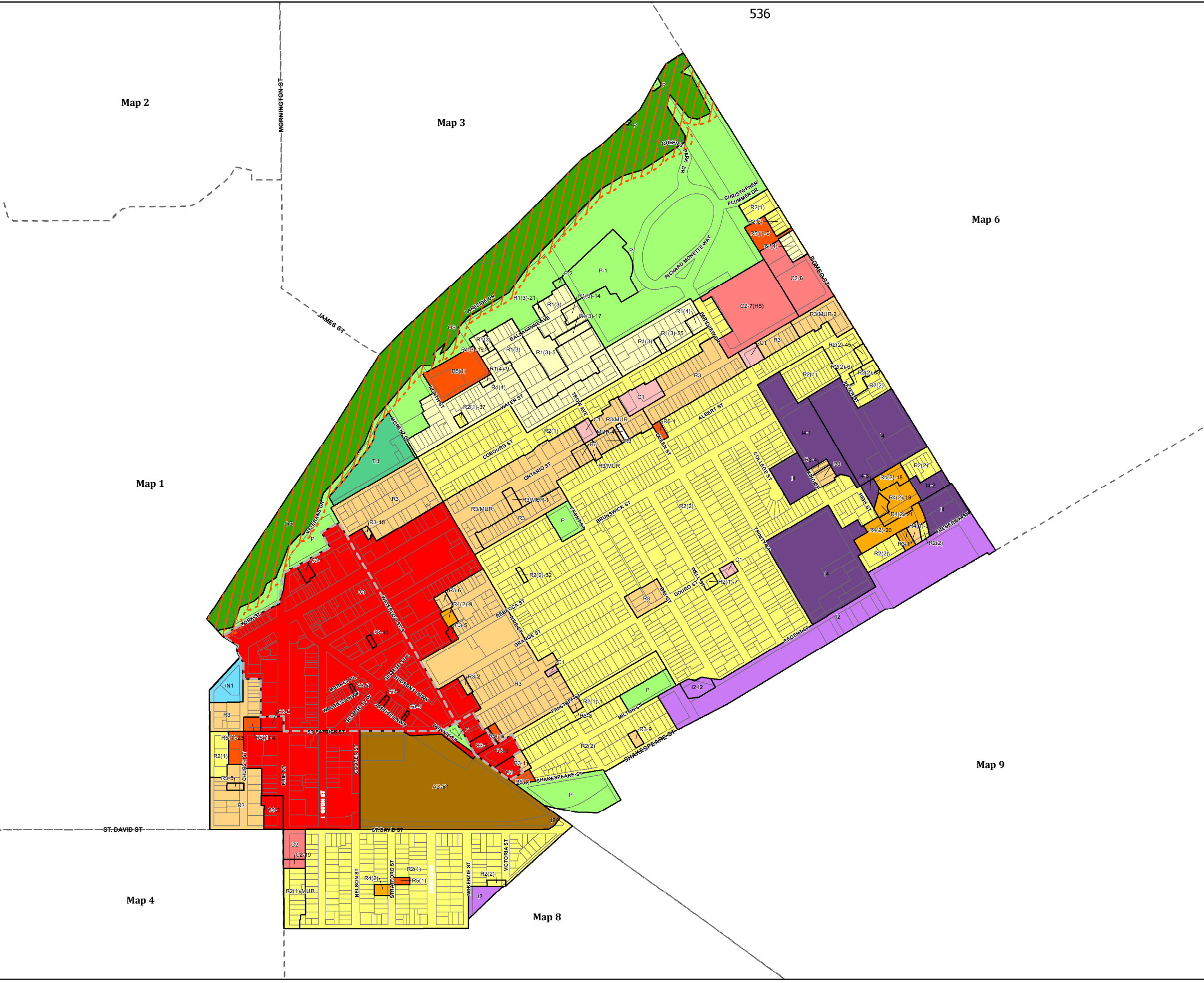
City of Stratford
Zoning By-Law
No. _____ - _____

Schedule "A" Map 5

- Legend**
- Upper Thames River Conservation Authority Regulated Area Overlay (Refer to Section 4.29)
 - "-#" - Zone Exception (Refer to Section 15.0)
 - "-H#" - Holding Symbol (Refer to Section 2.5.2)
 - "-B#" - Bonus Provision (Refer to Section 2.5.3)
 - "-T#" - Temporary Use Permission (Refer to Section 2.5.4)

- Central Business District
- Stratford Airport Overlay (Refer to Section 2.5.6)

- Residential Zones**
- R1 - Residential First Density
 - R2 - Residential Second Density
 - R3 - Residential Third Density
 - R4 - Residential Fourth Density
 - R5 - Residential Fifth Density
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- Grand Trunk Anchor District Zone**
- AD - Grand Trunk Anchor District
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- Institutional Zones**
- IN1 - Institutional Community
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- Theatre District Zone**
- TH - Theatre District
- Parks and Open Space Zones**
- P - Parks
 - OS - Open Space
- Agricultural Zone**
- A - Agricultural
- Urban Reserve Zone**
- UR - Urban Reserve





City of Stratford
Zoning By-Law
No. _____ - _____

Schedule "A" Map 6

Legend

- Upper Thames River Conservation Authority Regulated Area Overlay (Refer to Section 4.29)
- "-#" - Zone Exception (Refer to Section 15.0)
- "-H#" - Holding Symbol (Refer to Section 2.5.2)
- "-B#" - Bonus Provision (Refer to Section 2.5.3)
- "-T#" - Temporary Use Permission (Refer to Section 2.5.4)

- Central Business District
- Stratford Airport Overlay (Refer to Section 2.5.6)

Residential Zones

- R1 - Residential First Density
- R2 - Residential Second Density
- R3 - Residential Third Density
- R4 - Residential Fourth Density
- R5 - Residential Fifth Density
- MUR - Mixed Use Residential

Commercial Zones

- C1 - Neighbourhood Commercial
- C2 - Highway Commercial
- C3 - Central Commercial
- C4 - Shopping Centre Commercial
- C5 - Corridor Commercial

Grand Trunk Anchor District Zone

- AD - Grand Trunk Anchor District

Industrial Zones

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- I2 - General Industrial
- I3 - Secondary Industrial
- I4 - Factory District

Institutional Zones

- IN1 - Institutional Community
- IN2 - Institutional Neighbourhood

Theatre District Zone

- TH - Theatre District

Parks and Open Space Zones

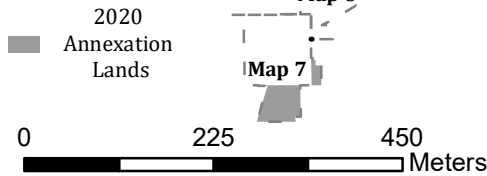
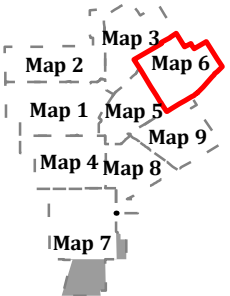
- P - Parks
- OS - Open Space

Agricultural Zone

- A - Agricultural

Urban Reserve Zone

- UR - Urban Reserve



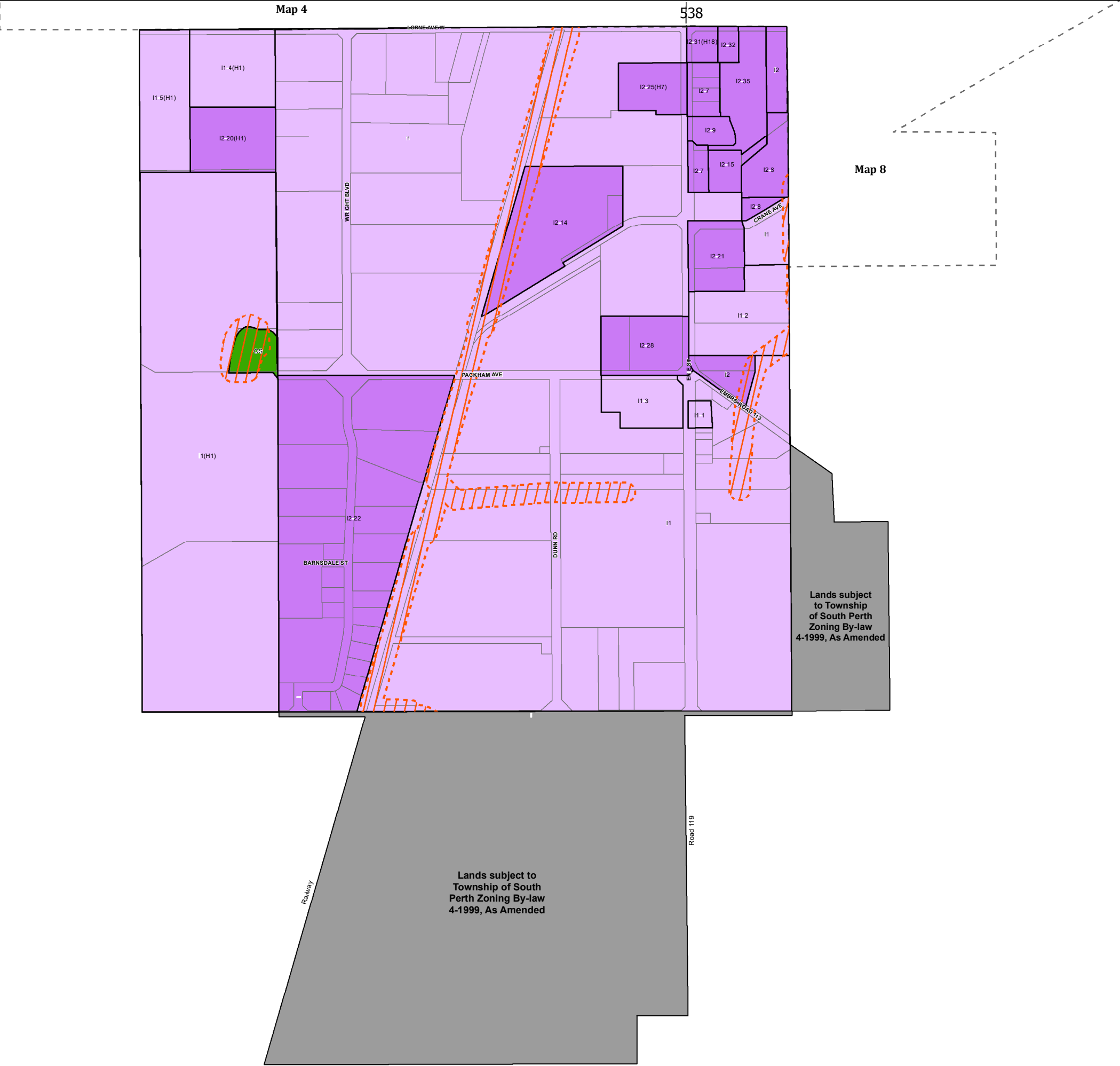
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Map 3

Map 5

Map 9



City of Stratford Zoning By-Law No. _____ - _____

Schedule "A" Map 7

Legend

- Upper Thames River Conservation Authority Regulated Area Overlay (Refer to Section 4.29)
- "-#" - Zone Exception (Refer to Section 15.0)
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Residential Zones

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Grand Trunk Anchor District Zone

- AD - Grand Trunk Anchor District

Industrial Zones

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Institutional Zones

- IN1 - Institutional Community
- IN2 - Institutional Neighbourhood

Theatre District Zone

- TH - Theatre District

Parks and Open Space Zones

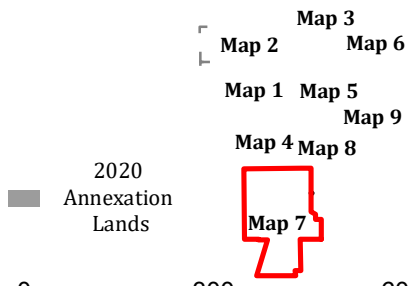
- P - Parks
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Agricultural Zone

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Urban Reserve Zone

- UR - Urban Reserve



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City of Stratford Zoning By-Law No. _____ - _____

Schedule "A" Map 8

Legend

- Upper Thames River Conservation Authority Regulated Area Overlay (Refer to Section 4.29)
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Theatre District Zone

- TH - Theatre District

Parks and Open Space Zones

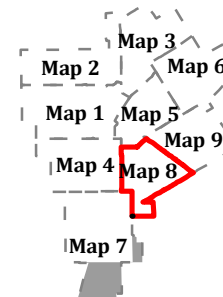
- P - Parks
- OS - Open Space

Agricultural Zone

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Urban Reserve Zone

- UR - Urban Reserve



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Lands

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Map 6

Map 5

Map 8



City of Stratford Zoning By-Law No. _____ - _____

Schedule "A" Map 9

Legend

- Upper Thames River Conservation Authority Regulated Area Overlay (Refer to Section 4.29)
- "-#" - Zone Exception (Refer to Section 15.0)
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- Central Business District
- Stratford Airport Overlay (Refer to Section 2.5.6)

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Theatre District Zone

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Parks and Open Space Zones

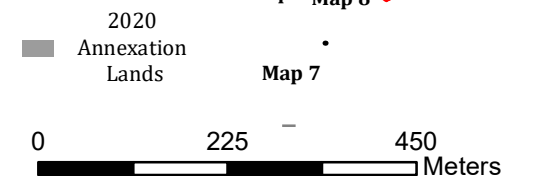
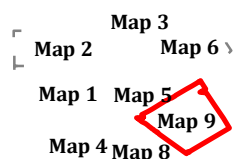
- P - Parks
- OS - Open Space

Agricultural Zone

- A - Agricultural

Urban Reserve Zone

- UR - Urban Reserve



SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
Abbey Court	L			20	20
Abraham Drive	L			18	18
Ahrens Drive	L			20	20
Albert Street	L	Downie	Waterloo	20	20
Albert Street	C	Waterloo	Romeo	20	23
Albert Street	L	Romeo	Burritt	20	20
Anderson Crescent	L			20	20
Arden Park	L			20	20
Argyle Street	L			20	20
Arthur Street	L			20	20
Ash Street	L			20	20
Athlone Crescent	L			20	20
Avon Street	L			20	20
Avondale Avenue	L	Charles	160 m north of Hibernia	20	20
Avondale Avenue	L	160 m north of Hibernia	Hibernia	7.5	20
Avondale Avenue	L	Hibernia	south limit	20	20
Avonwood Drive	L			20	20
Babb Crescent	L			20	20
Baker Street	L			20	20
Ballantyne Avenue	L	North	Front	12 to 14.9	18
Ballantyne Avenue	L	Front	Queen	20	20
Barron Street	L			20	20
Barnsdale Street	L			23	23
Battershall Court	L			20	20
Bay Street	L			20	20
Bedford Crescent	L			20	20
Bell Court	L			20	20

A - Arterial, C - Collector, L - Local

HCD - Heritage Conservation District - No Road Widening Required

SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
Birmingham Street	L			20	20
Blake Street	L	Dufferin	Brydges	15	18
Blake Street	L	Brydges	Louise	20	20
Borden Street	L			20	20
Boyd Street	L			33.5	33.5
Bradshaw Drive	L			20	20
Braemar Crescent	L			20	20
Brant Street	L			15	18
Brett Street	L			20	20
Briarhill Drive	L			20	20
Britannia Street	C	Mornington	Forman	20	23
Britannia Street	L	Forman	Matilda	20	23
Brown Street	L			20	20
Bruce Street	L			20	20
Brunswick Street	L	Downie	Waterloo	20	20
Brunswick Street	C	Waterloo	Romeo	20	23
Brunswick Street	L	Romeo	Burritt	20	20
Brydges Street	C	Downie	Mowat	20	23
Brydges Street	L	Mowat	Oak	20	20
Buckingham Drive	L			20	20
Burnham Court	L			20	20
Burritt Street	L	Devon	Douro	20	20
Burritt Street	L	Douro	Frederick	22	22
Burwell Road	L			20	20
Butler Cove Road	L			20	20
Caledonia Street	L			20	20
Campbell Court	L			20	20
Cambria Street	C			20	23
Canterbury Avenue	L			20	20

A - Arterial, C - Collector, L - Local

HCD - Heritage Conservation District - No Road Widening Required

SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
Caroline Street	L			20	20
Caven Street	L			20	20
Cawston Street	L			20	20
Cedar Street	L			15	18
Cedarbrae Drive	L			20	20
Centre Street	L			20	20
Charles Street	L			20	20
Cherry Street	L			20	20
Chestnut Street	L			20	20
Christopher Plummer Drive	L			26	26
C. H. Meier Boulevard	A	north limit	Ontario	30.5	30.5
C. H. Meier Boulevard	C	Ontario	Douro	30.5	30.5
Church Street (East Side)	C	Ontario	St Patrick	-	HCD
Church Street (West Side)	C	Ontario	St. Patrick	20	23
Church Street	L	St. Patrick	Monteith	20	20
Churchill Circle	C			20	23
Cluff Court	L			20	20
Cobourg Street	L			20	20
Cobourg Lane	L			3	18
Cody Drive	L			20	20
College Street	L			20	20
Cooper Street	L			20	20
Corcoran Street	L			20	20
Coriano Street	L			15	18
Crane Avenue	L	west limit	Erie Street	24.4	24.4
Crane Avenue	L	Erie Street	east limit	26	26
Crawford Street	L			20	20
Crehan Court	L			20	20

A - Arterial, C - Collector, L - Local

HCD - Heritage Conservation District - No Road Widening Required

SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
Crooks Street	L			15	18
Culliton Street	L			20	20
Daly Avenue	L			20	20
Dannecker Road	L			20	20
Davidson Drive	L			20	20
Dawson Street	L			20	20
Deacon Street	L			20	20
Delamere Avenue	C			20	23
DeMille Street	L			20	20
Denison Street	L			20	20
Devon Street	C	Romeo	C. H. Meier	20	23
Devon Street	L	C. H. Meier	Avonwood	20	20
Diana Court	L			20	20
Dickens Place	L			20	20
Dingman Place	L			20	20
Dixon Road	L			20	20
Dorland Drive	L			20	20
Douglas Street	L	St. Vincent	85 m east of St. Vincent	10	20
Douglas Street	L	(except as indicated otherwise)		20	20
Douro Street	C	Downie	Romeo	20	23
Douro Street	C	Romeo	C. H. Meier	20 to 23.8	30
Dover Street	L			20	20
Downie Street - East Side	C	Ontario	Waterloo	-	HCD
Downie Street - East Side	A	Waterloo	Lorne	20 to 25	25
Downie Street West Side		Ontario	St Patrick Street	-	HCD

A - Arterial, C - Collector, L - Local

HCD - Heritage Conservation District - No Road Widening Required

SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
Downie Street - West Side	A	Waterloo	Lorne	20 to 25	25
Downie (Downie Road 112)	A	Lorne	City Limits	25	30
Dufferin Street	L			20	20
Duke Street	L			10 to 12	18
Dunlop Place	L			20	20
Dunn Road	L			30.5	30.5
Durkin Street	C			26	26
Eagle Drive	L			18	18
Earl Street	L			15	18
Easson Street	L			20	20
East Gore Street	L	Downie	Taylor	20	20
East Gore Street	L	Taylor	Borden	10	20
Edison Crescent	L			20	20
Egan Circle	L			20	20
Elgin Crescent	L			20	20
Elizabeth Street	L			20	20
Elm Street	L			20	20
Embro Road 113	A	Erie	City limits	21	30
Erie Street	C	Lakeside	Ontario	15 to 30	30
Erie Street	A	Ontario	West Gore	30	30
Erie Street	A	West Gore	Lorne	20 to 25	30
Erie Street	A	Lorne	City limits	23, 38, 36.5	36.5
Essex Street	L			20	20
Fairfield Drive	L			20	20
Falstaff Street	L			20	20
Feick Crescent	L			20	20

A - Arterial, C - Collector, L - Local

HCD - Heritage Conservation District - No Road Widening Required

SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
Fern Street	L			20	20
Findlay Place	L			20	20
Forman Avenue	L	Culliton	Fraser	20	20
Forman Avenue	C	Fraser	Huron	20 to 23	23
Forman Avenue	L	Huron	south limit	20	20
Franklin Drive	L			20	20
Fraser Drive	C			23	23
Frederick Street	L			20	20
Freeland Drive	L			20	20
Front Street	L			20	20
Galt Road	L			20	20
Gemmell Court	L			20	20
George Street East	C			20	20
George Street West	C			20	20
Glastonbury Crescent	L			20	20
Glastonbury Drive	L			20	20
Glendon Road	L			20	20
Gordon Street	L			20	20
Graff Avenue	L			20	20
Graham Crescent	L			20	20
Grange Street	L			16.7 to 20	20
Grant Street	L			20	20
Greenberg Place	L			20	20
Greenwood Drive	C			23	23
Gregory Crescent	L			18	18
Griffith Road	L			30.5	30.5
Guelph Street	L			14.6 to 20	20
Guthrie Avenue	L			20	20
Hahn Court	L			30	30

A - Arterial, C - Collector, L - Local

HCD - Heritage Conservation District - No Road Widening Required

SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
Haig Street	L			20	20
Hamilton Street	L			20	20
Harrison Street	L			20	20
Henry Drive	L			20	20
Hesson Street	L			20 to 10	20
Hibernia Street	L			20	20
Hickory Lane	L			20	20
High Street	L			11.6	18
Hillcrest Drive	L			20	20
Home Street	L			20	20
Hossie Terrace	L			20	20
Humber Street	L			33.5	33.5
Huntingdon Avenue	L			20	20
Huron Street	A	Ontario	John	30	30
Huron Street	A	John	Forman	20	30
Huron Street	A	Forman	O'Loane	25.7, 25, 20	30
Hyde Road	L			20	20
Inverness Street	L			15	18
James Street	L			20	20
Jarvis Street	L			20	20
Joffre Street	L			20	20
John Street North	C			20	23
John Street South	C			20	23
Jones Street	L			20	20
Kapelle Circle	L			20	20
Kathryn Crescent	L			20	20
Kay Street	L			20	20

A - Arterial, C - Collector, L - Local

HCD - Heritage Conservation District - No Road Widening Required

SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
Kemp Crescent	L			20	20
Kenner Crescent	L			20	20
Kent Lane	L			15	18
Kent Street	L			12	18
Killoran Crescent	L			20	20
King Street	L			20	20
Lakeside Dr.	C				
Lakeside Dr. E. Leg	C	Lakeside	William	-	-
Lakeside Dr. W. Leg	L	Lakeside	William	-	-
Laurier Street	L			20	20
Lightbourne Avenue	L			20	20
Linden Court	L			18	18
Line 29 (Gibb Road)	L			20	30
Line 34 (Hwy 8)	A			30	30
Linton Avenue	L			20	20
Little Thames Place	L			20	20
Lloyd Court	L			20	20
Long Drive	L			18	18
Lorne Avenue East	A	Romeo St. S.	Erie	25 to 30.5	30
Lorne Avenue West	A	Erie	O'Loane	30.5 +	30
Louise Street	L	Dufferin	30m south of Whitelock	17.7	17.7
Louise Street	L	30m south of Whitelock	Maple	20	20
Magwood Court	L			20	20
Maitland Avenue	L			20	20

A - Arterial, C - Collector, L - Local

HCD - Heritage Conservation District - No Road Widening Required

SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
Makins Street	L			20	20
Manning Avenue	L			20	20
Maple Avenue	L			20	20
Market Place	L			20	20
Martin Street	C			20	23
Matilda Street	L			20	20
Mayberry Place	L			20	20
McCann Drive	L			20	20
McCarthy Road East	A			30 to 30.5	30 to 30.5
McCarthy Road West	A			30 to 30.5	30 to 30.5
McCulloch Street	L			20	20
McDonald Street	L			20	20
McFarlane Street	L			20	20
McGregor Street	L			20	20
McKenzie Street	L			20	20
McLagan Drive	L			20	20
McManus Road	L			20	20
McNab Street	L			20	20
McPherson Street	L			20	20
McQueen Court	L			20	20
Meighen Mews	L			20	20
Mercer Street	L			15	18
Milton Street	L			20	20
Moderwell Street	L			20	20
Monteith Avenue	L			20	20
Moore Street	L			20	20
Morenz Drive	L			11	18
Morgan Street	L			20	20
Morison Street	L			20	20
Mornington Street	C	Huron	Waterloo	20	23
Mornington Street	A	Waterloo	Delamere	20	25

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SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
Mornington Street	A	Delamere	Vivian	25, 28, 36.6	36.6
Mornington Street	A	Vivian	City limits	36.6 to 31.7	36.6
Mowat Street	L	West Gore	Brydges	15	18
Mowat Street	L	Brydges	Whitelock	15 to 20	20
Murray Hill Road	L			20	20
Neal Avenue	L			20	20
Nelson Street	L	St. David	Ash	20	20
Nethercott Drive	L			20	20
Nightingale Place	L			20	20
Nile Street	L			20	20
Norfolk Street	C			20	23
Norman Street	L			20	20
Normandy Drive	L			15	18
Nornabell Court	L			20	20
North Street	L			20	20
Northway Circle	L			20	20
Norwood Court	L			20	20
Oak Street	L			20	20
Oakdale Avenue	L			20	20
O'Loane Avenue	A	Perth Line 36	widening for Lorne	20 to 25	30
O'Loane Avenue	A	widening for Lorne	Lorne	30 +	30 +
Ontario Street	A	Huron	Front	30	30
Ontario Street	A	Front	Burritt	20 to 25	30
Ontario Street	A	Burritt	City limits	31.4 to 36.6	36

A - Arterial, C - Collector, L - Local

HCD - Heritage Conservation District - No Road Widening Required

SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
Orr Street	L			20	20
Oxford Street	L			20	20
Packham Avenue	C			26.2	26.2
Palmer Square	L			20	20
Park Street	L			20	20
Park Lane Drive	L			20	20
Parkview Drive	L			30.5	30.5
Patricia Road	L			20	20
Patterson Street	L			20	20
Perth Line 33 aka Lorne Ave	A			25.5 to 30.5	30
Perth Line 34	A	Romeo St. S.	Eastern City Limits	20	30
Perth Line 36 aka Quinlan Road	C			20 to 25	30
Perth Line 37 aka Vivian Line 37	C			20 to 25	30
Perth Street	L			20	20
Peter Street	L			20	20
Pine Street	L			15	18
Player Street	L			20	20
Pleasant Drive	L			20	20
Polley Place	L			20	20
Portia Boulevard	L			20	20
Preston Street	L			20	20
Princess Street	C	Mornington	Glastonbury	20	23
Princess Street	L	Glastonbury	Arthur	20	20
Queen Street	L			20	20
Queensland Drive	C			26	26

A - Arterial, C - Collector, L - Local

HCD - Heritage Conservation District - No Road Widening Required

SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
Queens Park Drive	L				
Railway Avenue	L			15 to 20	20
Rankin Street	L			16.8	18
Rebecca Street	L			15	18
Redford Crescent	L			20	20
Regent Street	L			20	20
Richard Monette Way	L				
Riehl Court	L			20	20
Robertson Drive	L			20	20
Romeo Street North	C	Vivian	McCarthy	20 to 25	30
Romeo Street North	A	McCarthy	Gregory Cres (south leg)	25	30
Romeo Street North	A	Gregory Cres (south leg)	Ontario	20 to 29	30
Romeo Street South		Ontario	Frederick	20 to 29	30
Romeo Street South	A	Frederick	Park	46.6 to 61	46.6 to 61
Romeo Street South	A	Park	Lorne	20 to 30.5	30
Ross Street	L			20	20
Russell Drive	L			20	20
Rutherford Drive	L			20	20
St. Andrews Street	L			20	20
St. David Street	L			20	20
St. Patrick Street	C	Birmingham	Church	20	20
St. Patrick Street (North Side)	C	Church	Downie	20	HCD
St. Patrick Street (South Side)	C	Church	Downie	20	23
St. Vincent Street North	L	Caledonia	Huron	20	20

A - Arterial, C - Collector, L - Local

HCD - Heritage Conservation District - No Road Widening Required

SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
St. Vincent Street South	C	Huron	Lorne	20 to 23	23
Sargint Street	L			20	20
Scott Street	L			36.6	36.6
Sharman Street	L			20	20
Shakespeare Street	L			20	20
Short Street	C			20 to 30.5	23
Shrewsbury Street	L			20	20
Silcox Place	L			20	20
Simcoe Street	L			20	20
Simpson Court	L			20	20
Sir Adam Beck Road	L			20	20
Smith Street	L			24	24
Somerset Street	L			20	20
Sprung Court	L			20	20
Strachan Street	L			20	20
Stratford Street	L			20	20
Sutter Street	L			20	20
Taylor Street	L			20	20
Thomas Street	L			20	20
Trinity Street	L			20	20
Trow Avenue	L			20	20
Tweedsmuir Place	L			20	20
T. J. Dolan Drive	L			-	-
Vanevery Way	L			20	20
Verona Park	L			20	20
Veterans Drive	L			Varies	
Victoria Street	L			20	20
Viola Court	L			20	20

A - Arterial, C - Collector, L - Local

HCD - Heritage Conservation District - No Road Widening Required

SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
Vivian Line 37	C			20 to 25	30
Waddell Street	L			20	20
Walnut Street	L			20	20
Walsh Crescent	L			20	20
Warwick Road	L			20	20
Water Street	L			20	20
Waterloo Street South (East Side)	A	Lake Victoria	Douro	-	-
Waterloo Street South (East Side)	A	Douro	Downie	-	-
Waterloo Street South (East Side)	A	Downie	Lorne	-	-
Waterloo Street South (West Side)	A	Lake Victoria	Cobourg	-	-
Waterloo Street South (West Side)	A	Cobourg	Downie	-	-
Waterloo Street South (West Side)	A	Downie	Lorne	-	-
Waterloo Street North	A	Lake Victoria	Mornington	-	HCD
Well Street	L	Brunswick	Douro	20	20
Wellington Street	C	Downie	St. Patrick	20	20
Wellington Street	L	St. Patrick	West Gore	20	20
West Gore Street	C	Downie	west limit	20	23
White Street	L			20	20
Whitlock Street	L			20	20
Whyte Avenue	L			20	20
Windemere Crescent	L			20	20
William Street	L			20	20
Willow Street	L			20	20

A - Arterial, C - Collector, L - Local

HCD - Heritage Conservation District - No Road Widening Required

SCHEDULE B

STREET CLASSIFICATION AND EXISTING & DESIGN STREET WIDTHS

STREET	CLASS	FROM	TO	EXISTING WIDTH (m)	DESIGN WIDTH (m)
Wilson Court	L			20	20
Wingfield Avenue	L			18	18
Woods Street	L			20	20
Wooton Court	L			20	20
Worsley Street	L	St. Vincent	easterly for 130 m	16.7	20
Worsley Street	L	east of St. Vincent	Birmingham	12	20
Wright Boulevard	C			26	26
Wyatt Street	L			20	20
York Street (North Side)	L			12	HCD
York Street (South Side)	L			12	HCD
Youngs Street	L			20	20

A - Arterial, C - Collector, L - Local

HCD - Heritage Conservation District - No Road Widening Required



City of Stratford Zoning By-Law No. ____ - ____

Schedule "C"
Wellhead Protection Areas

Legend

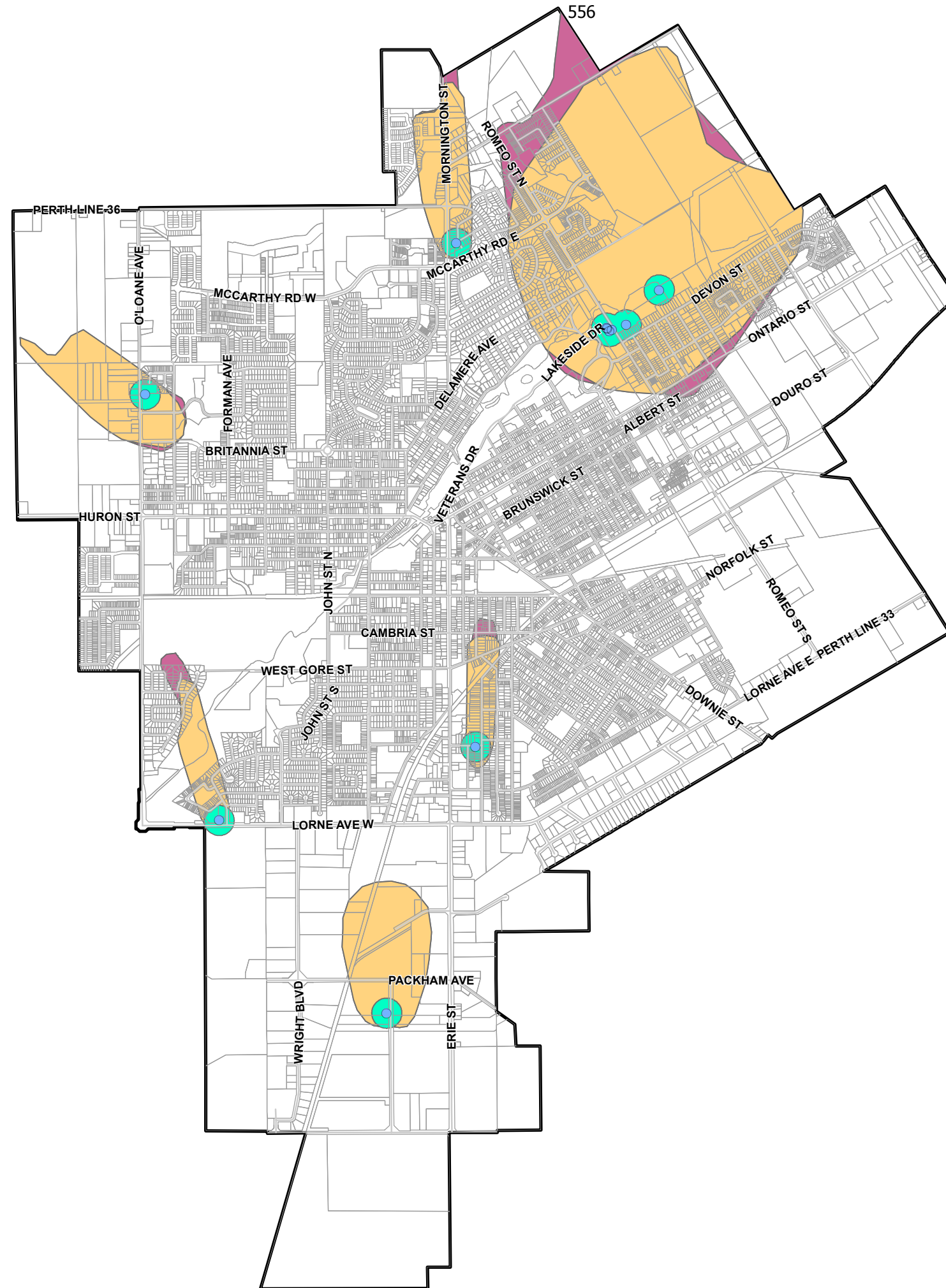
● Municipal Well

Zone

■ WHPA-A

■ WHPA-B

■ WHPA-C



0 500 1,000
Meters

Final Draft
January 2022





BY-LAW NUMBER XXX-2022
OF
THE CORPORATION OF THE CITY OF STRATFORD

BEING a by-law to adopt the budget (estimates of revenues and expenditures) for tax supported and user pay purposes for the year 2022.

WHEREAS Section 290 of the *Municipal Act, S.O. 2001, c.25*, as amended, requires municipalities to prepare and adopt a budget and establishes requirements under that legislation to set out the estimated revenues and expenditures for the municipality;

AND WHEREAS in accordance with Section 290 of the *Municipal Act, S.O. 2001, c.25*, as amended, Council has considered the sums required during the year for Municipal purposes and is prepared to pass a budget for the year 2022;

AND WHEREAS it is now necessary to adopt the estimates of revenue and expenditures for tax supported and user pay services for the Corporation of the City of Stratford;

NOW THEREFORE BE IT ENACTED by Council of The Corporation of the City of Stratford as follows:

1. That the current estimates of operating revenues and expenditures for tax supported purposes and for user pay purposes for the City of Stratford are hereby adopted as set out in the attached Schedule "A", to be known as the 2022 Operating Budget.
2. That the capital project estimates for expenditures and revenues for tax supported purposes and for user pay purposes for the City of Stratford are hereby adopted as set out in the attached Schedule "B", to be known as the 2022 Capital Budget.
3. That Schedules "A" and "B" as attached hereto form and become part of this by-law.
4. That this by-law shall come into force and effect upon receiving the final passing thereof.

Read a FIRST, SECOND and THIRD time and

FINALLY PASSED this 14th day of February, 2022.

Mayor – Daniel B. Mathieson

Clerk – Tatiana Dafoe

This is Schedule "A" to By-law XXX-2022**Adopted this 14th day of February, 2022****City of Stratford 2022 Operating Budget**

Account	Amount
100 TAXATION	(68,264,126)
100 GENERAL REVENUES	(1,915,365)
101 MAYOR'S OFFICE	99,640
102 CITY COUNCIL	373,930
111 CAO'S OFFICE	875,047
112 HUMAN RESOURCES	691,710
121 CITY CLERK	508,770
131 FINANCE & TREASURY	1,404,230
134 INFORMATION TECHNOLOGY	1,705,196
135 PARKING	(464,230)
136 CROSSING GUARDS	242,910
139 GENERAL GOVERNMENT	1,818,477
141 CITY BUILDINGS	862,318
211 FIRE	8,390,884
231 POLICE	12,097,829
251 DEVELOPMENT SERVICES	491,632
310 ENGINEERING	803,839
315 FLEET	1,614,790
320 ROADS	5,888,580
330 SANITARY	0
340 STORM	4,416,682
350 WATER	(7,235)
360 WASTE	1,035,740
411 STRATFORD PUBLIC LIBRARY	2,640,922
512 STRATFORD MUNICIPAL AIRPORT	184,742
513 INDUSTRIAL LAND SERVICING	0
610 SOCIAL SERVICES ADMINISTRATION	17,000
611 ONTARIO WORKS	573,980
613 ANNE HATHAWAY DAY CARE CENTRE	1,170
615 HOUSING	2,356,750
616 CHILDREN SERVICES	239,210
617 EARLY LEARNING & CHILD CARE	115,260
618 BRITANNIA ST APARTMENTS	0
711 PARKS	2,563,180
721 RECREATION	5,320,967
731 CEMETERY	460,180
750 TRANSIT	2,180,784
751 PARALLEL TRANSIT	517,180
810 REQUISITIONS FROM OTHERS	9,284,432
820 COMMITTEES OF COUNCIL	103,945
872 COMMUNITY SUPPORT & GRANTS	769,050

This is Schedule “B” to By-law XXX-2022

Adopted this 14th day of February, 2022

City of Stratford 2022 Capital Budget Summary

A. Corporate Services - total for all divisions \$2,163,330

A.1 Parking

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
1	Erie Lot Improvements	\$1,000,000			\$(1,000,000)	R-R11-PRKG	
2	Downie Lot Improvements	\$80,000			\$(80,000)	R-R11-PRKG	
3	Smart Parking Project (parking sensors)	\$34,390			\$(34,390)	R-R11-PRKG	
4	EV Charging Station Expansion (multiple lots)	\$249,100	\$(110,000)		\$(139,100)	R-R11-PRKG	

A.2 Information Technology Services

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
5	Personal Computers	\$48,000			\$(48,000)	R-R11-ITCA	
6	Network Enhancements (with carry forward)	\$180,000			\$(180,000)	R-R11-ITCA	
7	Wireless Enhancements	\$65,000			\$(65,000)	R-R11-ITCA	
8	Server Upgrade & Licensing	\$40,000			\$(40,000)	R-R11-ITCA	

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Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
9	Website & Citizen Portal	\$90,000			\$(90,000)	R-R11-ITCA	
10	Conference Room Technologies	\$97,000			\$(97,000)	R-R11-ITCA	
11	Records Management System Software (carry forward)	\$228,960	\$(148,824)		\$(80,136)	R-R11-ITCA	
12	Human Resources Information System (carry forward)	\$50,880	\$(33,072)		\$(17,808)	R-R11-ITCA	

B. Fire / Airport – total for all divisions \$1,900,000**B.1 Fire**

No capital projects included.

B.2 Airport

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
13	Fuel System Replacement	\$400,000			\$(400,000)	R-R11-AIRP	
14	Taxiway Extension	\$1,500,000	\$(1,500,000)				

C. Community Services – total for all divisions \$2,299,000**C.1 Parks and Forestry**

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
15	Maple Avenue Park Playground Structure Replacement	\$82,000			\$(82,000)	Taxation	
16	1/2 Ton Pick-up Replacement (P09)	\$50,000			\$ (50,000)	Taxation	
17	Front End Loader with Snow Blade Replacement	\$125,000			\$ (125,000)	Taxation	
18	Removal of Fuel Tanks at Parks Yard	\$35,000			\$ (35,000)	Taxation	
19	Meadowrue Gardens Step Replacement	\$25,000			\$ (25,000)	Taxation	

C.2 Cemetery

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
20	Cemetery Road Repair	\$25,000			\$(25,000)	Taxation	
21	Cemetery Monument Levelling	\$25,000			\$(25,000)	Taxation	
22	Removal and Replacement of Cemetery Fuel Tanks	\$115,000			\$(115,000)	Taxation	
23	Niche Wall Addition	\$65,000			\$(65,000)	Taxation	

DRAFT By-law 11.4

C.3 Facilities

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
24	Small Stage and Seating Veterans Drive	\$90,000	\$(90,000)		\$(100,000)	Taxation	
25	National Stadium Upgrades Phase I	\$100,000			\$(30,000)	Taxation	
26	Community Hall Generator	\$30,000			\$(40,000)	Taxation	
27	Scissor Lift Replacement (with carry forward from 2021)	\$82,000			\$(42,000)	R-R11-RECR	
28	1/2 Ton Pick-up Replacement (R03)	\$50,000			\$(50,000)	Taxation	
29	Replace Allman North Rubber Flooring	\$80,000			\$(80,000)	Taxation	
30	Allman Sound system	\$50,000			\$(50,000)	Taxation	
31	Replace compressor at Rotary	\$80,000			\$(80,000)	Taxation	
32	Packham Drainage	\$100,000			\$(100,000)	Taxation	
33	Milton St. Tennis Court Reconstruction	\$175,000			\$(175,000)	Taxation	

C.4 Transit

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
34	1/2 Ton Pick-up Replacement	\$50,000			\$(50,000)	R-R11-TRAN	
35	ITS-GPS System Upgrade Continuation	\$200,000	\$ (146,660)		\$(53,340)	R-R11-RGAS	
36	Automatic Bus Wash Replacement	\$350,000	\$ (256,655)		\$(93,345)	R-R11-RGAS	
37	Electronic Fare System	\$65,000	\$(47,665)		\$(17,335)	R-R11-RGAS	

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Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
38	Removal and Replacement of Transit Fuel Tanks	\$250,000	\$ (183,325)		\$(66,675)	R-R11-RGAS	

D. Infrastructure & Development Services - total for all divisions \$23,978,000**D.1 Roads and Traffic**

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
39	Sidewalk Replacements	\$150,000			\$(150,000)	R-R11-PWCA	
40	Accessibility Improvements	\$50,000			\$(50,000)	R-R11-PWCA	
41	Trails / Bike & Pedestrian Master Plan Implementation	\$200,000			\$(200,000)	R-R11-RFED	
42	Bridge improvements	\$375,000			\$(375,000)	R-R11-RFED	
43	Street Lighting Improvements	\$25,000			\$(25,000)	R-R11-PWCA	
44	Signal Intersection Updates for AODA	\$42,000			\$(42,000)	R-R11-PWCA	
45	Pedestrian Crossing Improvements	\$100,000			\$(100,000)	R-R11-PWCA	
46	Downtown Intersection Improvements	\$500,000			\$(500,000)	R-R11-PWCA	
47	Missing Sidewalks on Collector and Arterial	\$200,000		\$(100,000)	\$(100,000)	R-R11-PWCA	

DRAFT By-law 11.4

D.2 Storm

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
48	Lake Victoria Outfall Replacement	\$70,000			\$(70,000)	R-R11-STRM	

D.3 Water

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
49	Miscellaneous Repairs	\$100,000			\$(100,000)	R-R11-WATR	
50	Mechanical Upgrades to Wells	\$100,000			\$(100,000)	R-R11-WATR	
51	Water Service Replacement (Lead and Frozen)	\$100,000			\$(100,000)	R-R11-WATR	
52	Hydrant Distribution Monitoring	\$30,000			\$(30,000)	R-R11-WATR	
53	Process Optimization Equipment	\$50,000			\$(50,000)	R-R11-WATR	

D.4 Shared Program Funding

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
54	House Service Applications	\$400,000		\$(400,000)			

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D.5 Sanitary

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
55	Pumping Station Upgrades	\$100,000			\$(100,000)	R-R11-WWTR	
56	Sewer Subsidy Program	\$75,000			\$(75,000)	R-R11-WWTR	
57	Basement Isolation	\$30,000			\$(30,000)	R-R11-WWTR	
58	Miscellaneous Repairs	\$30,000			\$(30,000)	R-R11-WWTR	
59	Process Optimization Equipment	\$50,000			\$(50,000)	R-R11-WWTR	
60	WPCP Improvements	\$376,000			\$(376,000)	R-R11-WWTR	
61	WPCP UV Replacement	\$500,000			\$(500,000)	R-R11-WWTR	

D.6 Linear Infrastructure

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
62	Huron Street - Phase 1 - Carry Forward	\$3,825,000	\$(2,623,500)		\$(291,500) \$(350,000) \$(560,000)	R-R11-PWCA R-R11-WWTR R-R11-WATR	
63	Asphalt Resurfacing	\$1,450,000			\$(1,150,000) \$(100,000) \$(100,000) \$(100,000)	R-R11-RFED R-R11-STRM R-R11-WATR R-R11-WWTR	
64	Sewer Relining	\$1,000,000			\$(500,000) \$(500,000)	R-R11-WWTR R-R11-STRM	

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Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
65	Watermain Relining	\$900,000			\$(615,000) \$(285,000)	R-R11-WATR R-R11-PWCA	
66	Argyle Street - St. David to Cambria - Carry Forward	\$950,000			\$(180,000) \$(220,000) \$(160,000) \$(390,000)	R-R11-STRM R-R11-WATR R-R11-WWTR R-R11-RFED	
67	Argyle Street - St. David to Cambria	\$500,000			\$(150,000) \$(150,000) \$(100,000) \$(100,000)	R-R11-PWCA R-R11-STRM R-R11-WATR R-R11-WWTR	
68	MacKenzie Street - St. David to Cambria - Carry Forward	\$1,150,000			\$(500,000) \$(270,000) \$(220,000) \$(160,000)	R-R11-PWCA R-R11-STRM R-R11-WATR R-R11-WWTR	
69	MacKenzie Street - St. David to Cambria	\$500,000			\$(150,000) \$(150,000) \$(100,000) \$(100,000)	R-R11-PWCA R-R11-STRM R-R11-WATR R-R11-WWTR	
70	Portia Boulevard Watermain Extension	\$350,000			\$(150,000) \$(150,000) \$(50,000)	R-R11-PWCA R-R11-WATR R-R11-WWTR	
71	Ontario St Resurfacing	\$1,500,000	\$(1,350,000)		\$(150,000)	R-R11-STRM	
72	McCarthy Road West Extension from Orr to O'Loane	\$900,000		\$(569,000)	\$(200,000)	R-R11-WATR	

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Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
					\$(79,250) \$(51,750)	R-R11-PWCA R-R11-STRM	

D.7 Fleet

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
73	Sport Utility Vehicle	\$35,000			\$(35,000)	R-R11-FLET	
74	Sport Utility Vehicle	\$35,000			\$(35,000)	R-R11-FLET	
75	Truck Body Rebuild/Crane Replacement	\$75,000			\$(75,000)	R-R11-FLET	
76	4 x 4 Pick-Up Truck	\$35,000			\$(35,000)	R-R11-FLET	
77	Street Sweeper	\$400,000			\$(400,000)	R-R11-FLET	
78	Vactor/Flusher Truck	\$650,000			\$(650,000)	R-R11-FLET	

D.8 Landfill

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
79	Landfill Cell Expansion	\$600,000			\$(600,000)	R-R11-WAST	
80	Landfill Cell Expansion (Carry Forward)	\$1,200,000			\$(1,200,000)	R-R11-WAST	
81	Landfill Buffer Project (Carry Forward)	\$150,000			\$(150,000)	R-R11-WAST	

D.9 Facilities

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
82	Exterior Envelope Maintenance City Hall	\$20,000			\$(20,000)	R-R11-FACI	
83	Passenger Elevators City Hall/Annex	\$680,000	\$(409,110)		\$(270,890)	R-R11-FACI	
84	Washroom Replacements Library	\$280,000	\$(100,000)		\$(180,000)	R-R11-FACI	
85	Cooper Building Rehabilitation	\$2,800,000			\$(2,800,000)	R-R11-GTCH	

D.10 Miscellaneous

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
86	Official Plan Review	\$150,000		\$(135,000)	\$(15,000)	G-R18-STUD	
87	Landfill Facility Review	\$40,000			\$(40,000)	R-R11-WAST	
88	Public Works Facility Review	\$70,000			\$(70,000)	R-R11-PWCA	
89	Attainable Housing - Community Improvement Plan	\$80,000	\$(40,000)		\$(40,000)	G-R18-STUD	

E. Social Services - total for all divisions \$8,359,000

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
90	Connectivity/Security Systems - with carry forward	\$560,000			\$ (560,000)	R-R11-HOUS	
91	Fire Alarm Systems - with carry forward	\$520,500			\$ (520,500)	R-R11-HOUS	
92	Kitchens - with carry forward	\$203,500			\$ (203,500)	R-R11-HOUS	
93	Furnaces - with carry forward	\$75,000			\$ (75,000)	R-R11-HOUS	
94	Roof Replacements	\$50,000			\$ (50,000)	R-R11-HOUS	
95	Accessibility Upgrades - with carry forward	\$100,000			\$ (100,000)	R-R11-HOUS	
96	Electrical Upgrades	\$50,000			\$ (50,000)	R-R11-HOUS	
97	Roof anchors and access	\$50,000			\$ (50,000)	R-R11-HOUS	
98	Britannia Phase 2 - carry forward	\$6,750,000	\$(2,063,920)				\$(4,686,080)

F. Stratford Public Library - total \$315,100

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
99	Library Collection	\$255,100		\$(20,000)	\$ (235,100)	R-R11-LIBR	
100	Computer Equipment	\$30,000			\$ (30,000)	R-R11-LIBR	
101	Carpet Replacement	\$30,000			\$ (30,000)	R-R11-LIBR	

G. Stratford Police Service - total \$1,271,525

Project Number	Project Name	Total Project Cost	(Fed / Prov) Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount	City Reserve Account Reference	Long Term Debt
102	Radio System Upgrade (carry forward)	\$590,000			\$(590,000)	R-R11-POLI	
103	Telephone System Upgrade (carry forward)	\$158,000			\$(158,000)	R-R11-POLI	
104	Police Vehicles (5)	\$373,075		\$(140,030)	\$(233,045)	R-R11-POLI	
105	Portable Radios - Legacy Replacement	\$50,000			\$(50,000)	R-R11-POLI	
106	VM Server Replacement	\$50,000			\$(50,000)	R-R11-POLI	
107	Phone System Server (carry forward)	\$20,450			\$(20,450)	R-R11-POLI	
108	Locker Room Replacement	\$15,000			\$(15,000)	R-R11-POLI	
109	Fusion System Server	\$15,000			\$(15,000)	R-R11-POLI	

Totals (including carry forwards)

Total Costs of 2022 Capital Program	Fed / Prov Grants	Dev. Charges, Developer, Homeowner, Other	City Reserve Amount Total	Long Term Debt Totals
\$40,285,955	\$(9,102,731)	\$(1,364,030)	\$(25,133,114)	\$(4,686,080)



STRATFORD CITY COUNCIL

CONSENT AGENDA

February 14, 2022

REFERENCE NO. CONSENT AGENDA ITEM

- | | |
|-------------|--|
| CA-2022-009 | <p>In accordance with By-law 102-2008 and By-law 135-2017, the Infrastructure and Development Services Department provides notification that the following streets were/will be temporarily closed for parades/street events:</p> <ul style="list-style-type: none"> • Lakeside Drive from Front Street to Lakeside Drive North and Queen Street from Lakeside Drive to the Festival Theatre Parking Lot, on Sunday June 19, 2022 from 6:30 a.m. to 4:00 p.m. for a Kinsmen Car Show. |
| CA-2022-010 | <p>Notification that the Infrastructure and Development Services Department intends to call tenders in accordance with the City's Purchasing Policy for "HVAC Maintenance Program".</p> |
| CA-2022-011 | <p>Notification that the Infrastructure and Development Services Department intends to call tenders in accordance with the City's Purchasing Policy for "Building Maintenance Trades Program".</p> |
| CA-2022-012 | <p>Notification that the Infrastructure and Development Services Department intends to call tenders in accordance with the City's Purchasing Policy for "Elevator Maintenance Program".</p> |
| CA-2022-013 | <p>Notification that the Social Services Department intends to call tenders in accordance with the City's Purchasing Policy for "Building Maintenance Trades Program" for the Perth and Stratford Housing Corporation.</p> |
| CA-2022-014 | <p>In accordance with By-law 135-2017, the Infrastructure and Development Services Department provides notification that the following streets were temporarily closed to through traffic, local traffic only:</p> <ul style="list-style-type: none"> • Brunswick Street, from Romeo Street to Burritt Street on Thursday, January 20th, 2022 for a watermain repair. |

- Church Street, from St. David Street to Cambria Street, Stratford, on Monday, February 7 for water main repair.

CA-2022-015 Notification that the Corporate Service Department, Information and Technology Division, intends to call tenders in accordance with the City's Purchasing Policy for Network Enhancements.

CA-2022-016 Notification that the Corporate Service Department, Information and Technology Division, intends to call tenders in accordance with the City's Purchasing Policy for Cellular Services.

CA-2022-017 Correspondence from No Nuisance Noise Ontario regarding nuisance noise created by modified or missing car mufflers.

Attachment – Letter from No Nuisance Noise Ontario dated January 23, 2022 with resolution from Ajax attached.

Endorsement of the resolution is requested.

CA-2021-018 Further to the notification on the January 24, 2022 Consent Agenda, Stratford Winterfest no longer requires the following road closure for their event:

- A portion of Richard Monette Way, being primarily bus parking and parking spaces, on Saturday, February 19, 2022 from 9:30 a.m. to 6:00 p.m. for Winterfest 2022.

CA2-2022-019 In accordance with By-law 102-2008 and By-law 135-2017, the Infrastructure and Development Services Department provides notification that the following streets were/will be temporarily closed for parades/street events:

- Morenz Drive from Lakeside Drive to Water Street from 11:00 a.m. to 3:00 p.m.; Lakeside Drive from Waterloo Street N to North Street from 12:00 p.m. to 3:00 p.m. and Lakeside Drive from North Street to Front Street. North Street from Lakeside Drive to William Allman Arena parking lot entrance from 1:45 p.m. to 2:45 p.m. on Sunday, April 3 for the 2022 Annual Swan Parade.

**NO NUISANCE NOISE ONTARIO
NNNO!**

c/o Thomas R. Bell
PH 201 -2 Westney Road North
AJAX, Ontario
L1T 3H3
Email: thomasrbell@hotmail.com
Telephone: (905) 683-2455

January 23, 2022

Mayor D. Mathieson and Councillors
City of Stratford
Box 818, 1 Wellington St.
Stratford, ON
N5A 6W1

**SUBJECT: Nuisance noise created by
modified/missing mufflers**

Dear Mayor Mathieson and Councillors:

As the elected representatives of one of the 60 largest municipalities in Ontario, we are soliciting your assistance in helping your constituents to experience a quieter, less noise -polluted life while aiding millions of other Ontarians to enjoy a quieter world as well.

Our group started as a group of 106 condo dwellers who sent a petition to the Mayor and Councillors of the Town of Ajax. We petitioned that they do something about the ever-increasing, ear-deafening noises being produced by vehicles whose mufflers have been altered to create and amplify noises such as backfires and machine gun sounds, to name but a few.

The Mayor and Councillors were very supportive of our request but we quickly learned that our concern was really with the Highway Traffic Act. The Town of Ajax had passed a Council Resolution earlier in the year dealing with the noise issue and were doing as much as possible given the current provincial legislation.

We feel certain that this is not just an Ajax problem and that you likely have heard from your constituents that this is a problem and perhaps have even experienced it for yourself.

Our purpose in writing to you is to ask whether or not your jurisdiction has anything on record dealing with vehicular noise. If you do, we would appreciate receiving a copy. If you don't, we respectfully ask that you consider a resolution similar to the one passed by the Town of Ajax. We have taken the liberty of attaching a copy.

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On, or about, March 15, 2022 it is our intention to write to the Honorable Caroline Mulroney, Minister of Transportation. With the assistance of all 60 jurisdictions, hopefully, the voices of over eleven million Ontarians would be heard and the government would change the Highway Traffic Act to include at least some of our suggestions. As this is an election year there is a possibility that other parties might see this as an issue as well.

Our letter to the Ontario government will include copies of the current legislation that are in force in various localities throughout the province along with suggestions for amendments to the Highway Traffic Act such as:

- (a) Including a specific and enforceable decibel limit, e.g. 80 decibels
- (b) On conviction that a sizeable fine be imposed
- (c) Offenders be required, within a given period, to supply proof that the vehicle has been re--modified to at least meet current standards

As the Highway Traffic Act has not adequately dealt with the noise pollution problem, the financial responsibility for the costs associated with implementing and operating the program be paid for by the government for a period of 5 years. The costs to include:

- (i) purchase and upkeep of the necessary monitoring equipment
- (ii) training of local personnel
- (iii) financial liability for the payment of local enforcement officers

As the government would be financing the program, any fines levied should be shared on an 80% government, 20% local basis.

We are hopeful that you, and the council, will help us to eliminate this health jeopardizing problem by providing a copy of the legislation that is currently in force in your region or by enacting legislation and providing us with a copy.

Thank you in advance for any assistance that you may be able to provide.

Yours truly



Tom Bell

On behalf of NNNO!



**The Corporation of the Town of Ajax
June 21, 2021
Council Resolution Extract**

NOW THEREFORE BE IT RESOLVED THAT:

1. Ajax Council urge the Province of Ontario to work with the Lieutenant Governor to expedite the proclamation of section 75.1 of the Highway Traffic Act (Better for People, Smarter for Business Act, 2019, S.O. 2019, c. 14, Sched. 16, s. 11);
2. The Ministry of Transportation be requested to set a maximum decibel count for exhaust systems to ensure that exhaust systems with the capability of exceeding 80 decibels will not be available for sale and will not be permitted in the Province of Ontario, and consider reviewing and increasing associated penalties for non-compliance;
3. The Province of Ontario be requested to provide funding for police services in Ontario to be equipped with approved decibel monitor devices to aid in effective enforcement efforts; and
4. A copy of this motion be sent to the Hon. Caroline Mulroney, Minister of Transportation, the Hon. Rod Phillips, Minister of Long-Term Care and MPP for Ajax, all Durham Region Members of Provincial Parliament, the Region of Durham, all Durham municipalities, Durham Regional Police Service, and the Ontario Provincial Police.

Carried

Questions regarding the contents of this extract may be directed to the undersigned.

A handwritten signature in black ink, appearing to read "AH", is written over a horizontal line.

Alexander Harras
Manager of Legislative Services / Deputy Clerk
Town of Ajax
T: 905-619-2529 x 3342
E: alexander.harras@ajax.ca



**BY-LAW NUMBER XXX-2022
OF
THE CORPORATION OF THE CITY OF STRATFORD**

BEING a By-law to confirm the proceedings of Council of The Corporation of the City of Stratford at its meeting held on February 14, 2022.

WHEREAS subsection 5(1) of the *Municipal Act, 2001, S.O. 2001 c.25* as amended, provides that the powers of a municipal corporation are to be exercised by its council;

AND WHEREAS subsection 5(3) of the *Act* provides that the powers of council are to be exercised by by-law unless the municipality is specifically authorized to do otherwise;

AND WHEREAS it is deemed expedient that the proceedings of the Council of The Corporation of the City of Stratford at this meeting be confirmed and adopted by By-law;

NOW THEREFORE BE IT ENACTED by the Council of The Corporation of the City of Stratford as follows:

1. That the action of the Council at its meeting held on February 14, 2022, in respect of each report, motion, resolution, recommendation or other action passed and taken by the Council at its meeting, is hereby adopted, ratified and confirmed, as if each report, motion, resolution or other action was adopted, ratified and confirmed by its separate by-law.
2. The Mayor of the Council and the proper officers of the City are hereby authorized and directed to do all things necessary to give effect to the said action, to obtain approvals where required, and, except where otherwise provided, to execute all documents necessary in that behalf in accordance with the by-laws of the Council relating thereto.

Read a FIRST, SECOND and THIRD time and

FINALLY PASSED this 14th day of February, 2022.

Mayor – Daniel B. Mathieson

Clerk – Tatiana Dafoe